

client:

Adam Mangleson

project:

Townhouse Development

8 Kumbellin Glen,  
Ocean Shores, NSW

Page no    Layout Name

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Townhouse Development

8 Kumbellin Glen,  
Ocean Shores, NSW

project number

19013

scale

issue

L

drawn

checked

SR

Sam Ray

drawing number

drawing print date

8/07/2022

drawing name

COVER SHEET



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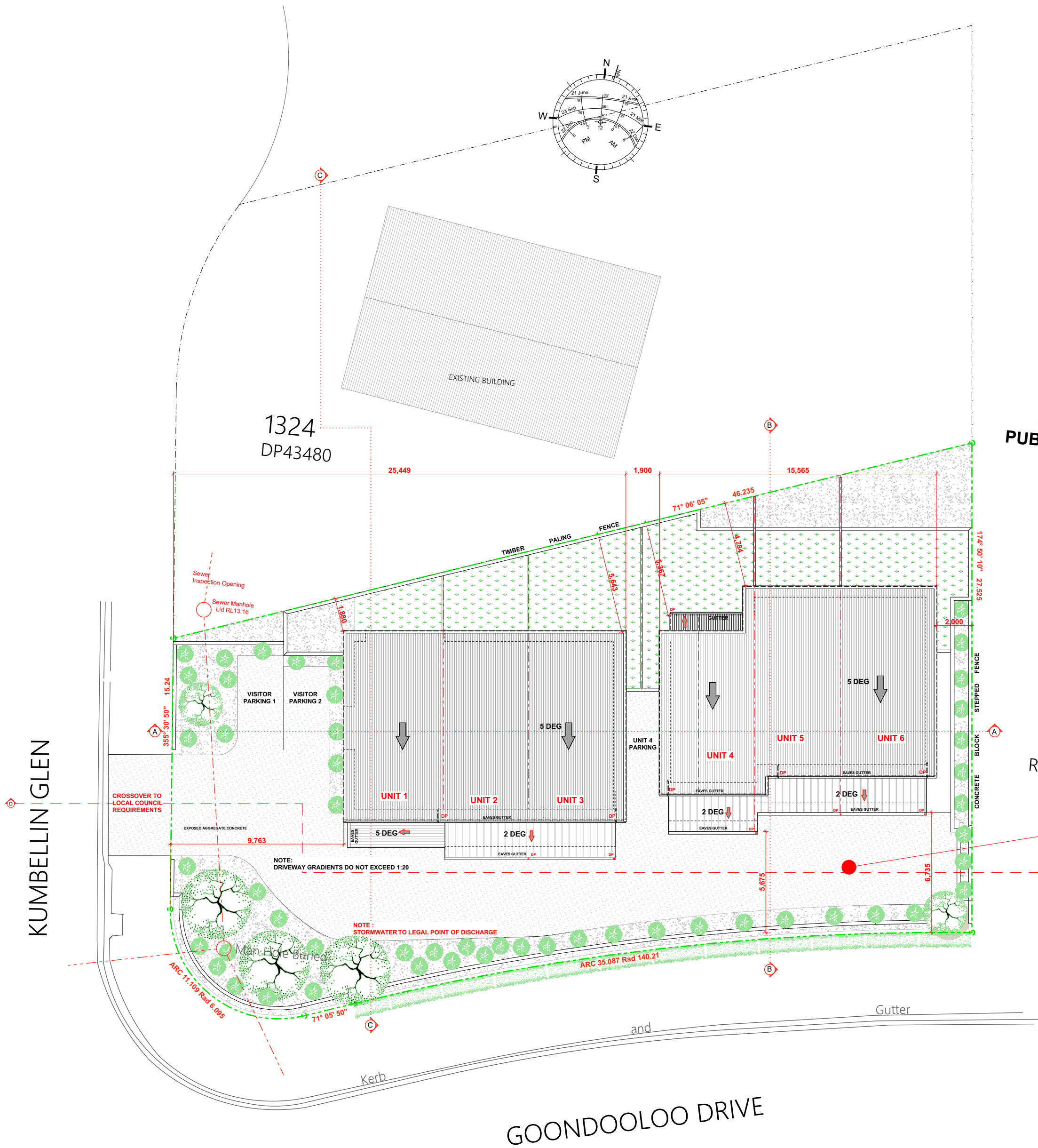
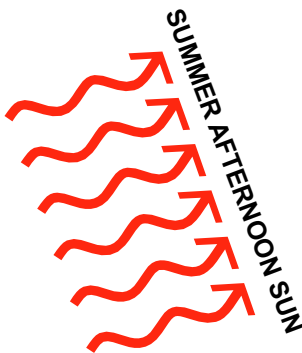
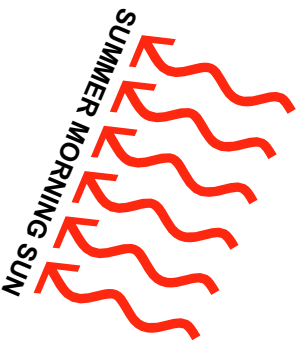
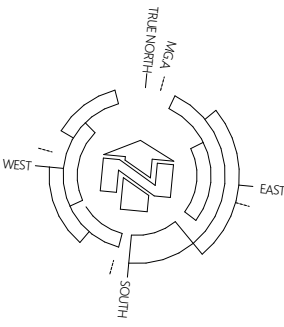
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Townhouse Development	1:100 on A2	L	PERSPECTIVES
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	





PROPERTY DESCRIPTION  
TOWNHOUSE DEVELOPMENT

LOT 1323 in DP243480  
8 KUMBELLIN GLEN,  
OCEAN SHORES, NSW ,

LAND SIZE - 1075.00 m<sup>2</sup>  
SITE COVERAGE - approx 450.00 m<sup>2</sup>  
Approx 42.0 %



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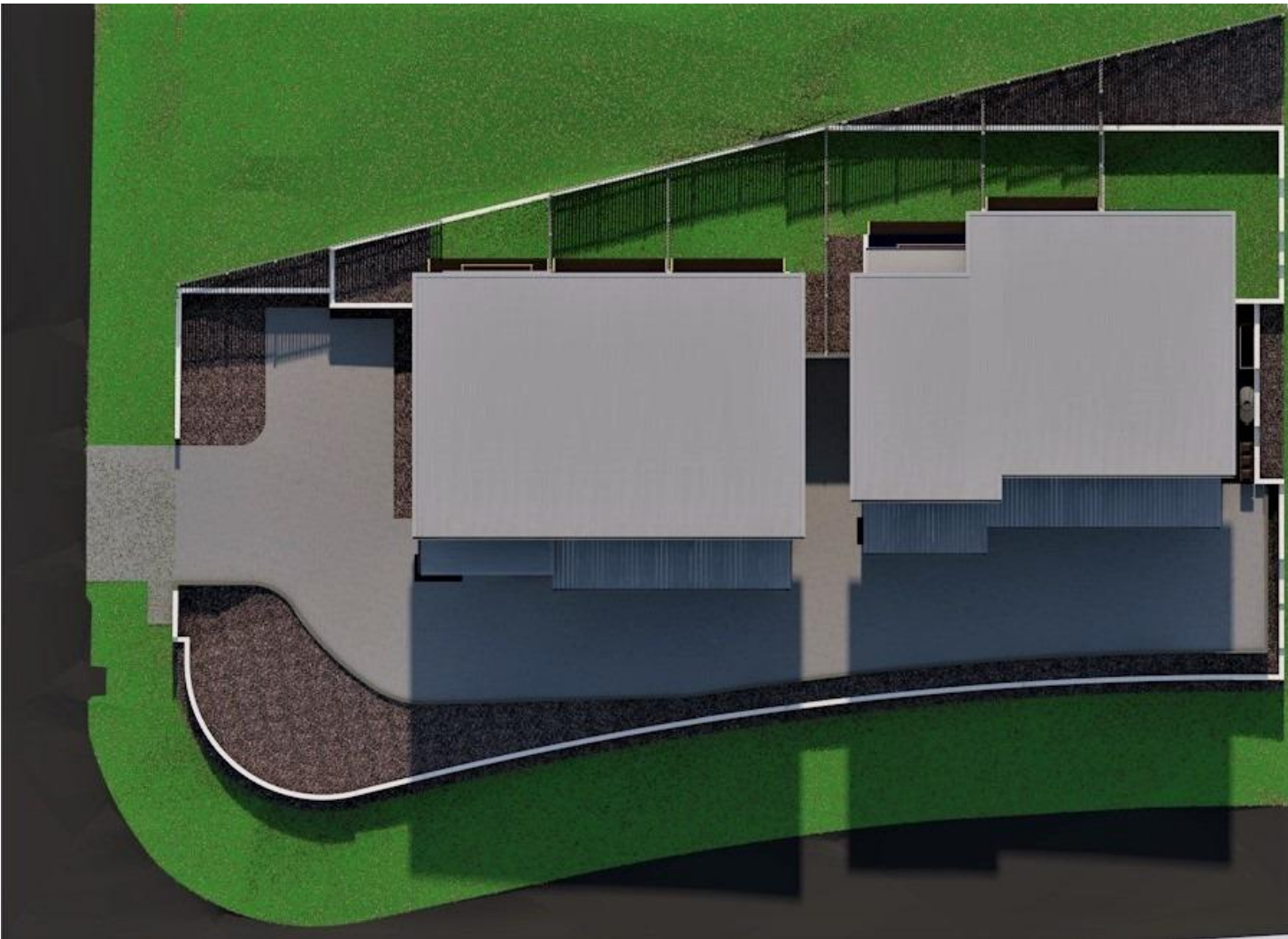
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Townhouse Development	1:100 on A2	L	SITE ANALYSIS
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	





JUNE 21st 9 am



JUNE 21st noon



JUNE 21st 3 pm



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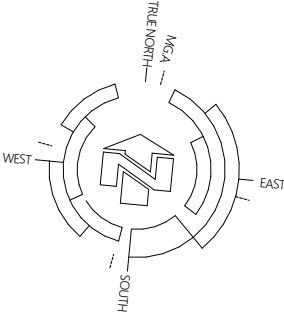
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UNIT 1 GFA AREAS:	
GROUND FLOOR (Concession) -	24.89 m <sup>2</sup>
FIRST FLOOR LIVING -	36.31 m <sup>2</sup>
SECOND FLOOR LIVING -	44.78 m <sup>2</sup>
UNIT 2-6 GFA AREAS:	
GROUND FLOOR (Concession) -	25.87 m <sup>2</sup>
FIRST FLOOR LIVING -	35.21 m <sup>2</sup>
SECOND FLOOR LIVING -	39.25 m <sup>2</sup>
TOTAL GFA = 453.39 m <sup>2</sup>	
Floor Space Ratio -	0.43:1

SITE NOTES	
GROUND SURFACE WATER	
FALL GROUND 50mm MIN IN FIRST 1000mm FROM BUILDING	
THE HEIGHT OF SLAB ABOVE EXTERNAL FINISHED SURFACE TO BE NOT LESS THAN:	
(A) 150mm ABOVE FINISHED GROUND LEVEL	
(B) 100mm ABOVE SANDY WELL DRAINED AREAS	
(C) 50mm ABOVE PAVED OR CONCRETE AREAS WITH FALL AWAY FROM BUILDING	
ROOF DRAINAGE	
FACE GUTTERS TO HAVE A MIN. FALL OF 1:500	
BOX GUTTERS TOM HAVE A MIN. FALL OF 1:100	
CATCHMENT AREA	GUTTER
30m <sup>2</sup>	115mm D GUTTER
40m <sup>2</sup>	125mm D GUTTER
50m <sup>2</sup>	150mm D GUTTER
60m <sup>2</sup>	150mm D GUTTER

ALL DRAINAGE REQUIRMENTS - STORMWATER, WASTE WATER, SEWER ETC. - REFER TO HYDRAULIC ENGINEERS DETAILS & SPECIFICATIONS.	
DOWNPIPES	
MIN. SIZE 90mm DIAMETER	
MAX. SPACING OF DOWNPIPES IS 12m	
DOWNPIPES TO BE FIXED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS & IF MORE THAN 1.2m FROM THE VALLEY PROVISION FOR AN OVERFLOW IS REQUIRED.	
STORMWATER	
STORMWATER LINES FOR 2 OR MORE DOWNPIPES TO BE 100mm DIA. WITH ALL BRANCHES TO BE 90mm DIA.	
STORMWATER LINES SHALL BE TO A MIN. FALL OF 1:60 & WHERE POSSIBLE PLACED AS SHOWN.	
100mm COVER TO STORMWATER DRAINAGE.	



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SITE COVERAGE - approx 450.00 m<sup>2</sup>  
Approx 42.0 %



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BASIX & CONSTRUCTION NOTES

CONCRETE SLAB ON GROUND  
EXPOSED AGG CONCRETE DRIVEWAY

EXTERIOR WALLS  
190mm CONCRETE BLOCK WALLS  
& RETAINING WALLS  
90mm TREATED PINE FRAMING  
WEATHERBOARD CLADDING  
FC SHEETING WITH COVER BATTENS  
60mm RENDERED FOAM CLADDING

INTERNAL LINING  
PLASTERBOARD WITH STANDARD CORNICE

ROOFING  
COLORBOND CUSTOM ORB @ 5 DEGS  
& KLIPLOK ROOF SHEETING @ 2 DEGS  
COLORBOND GUTTERS & FASCIA  
PAINTED PVC DOWNPIPES

POWDERCOATED ALUMINIUM WINDOWS & DOORS  
HEKA WINDOW HOODS TO SELECTED WINDOWS

TIMBER FLOORING  
CERAMIC TILES TO WET AREAS  
HWD TIMBER STAIR TREADS  
HWD TIMBER DECKING WITH TREATED TIMBER STEPS

TREATED TIMBER POSTS & FENCE PALINGS

REFER TO ENGINEERS DETAILS  
REFER TO UNIT SPECIFICATIONS FOR ALL PRODUCT SELECTIONS  
REFER TO UNIT INTERIOR DRAWINGS

WATER TANKS - 1500 LITRE POLY + PUMP  
REVERSE CYCLE HEATING & COOLING  
250 LITRE ELECTRIC HOT WATER SYSTEM  
3kW SOLAR SYSTEM TO EACH UNIT

BASIX DETAILS

REFER TO BASIX REPORT  
REFER TO natHERS REPORT

The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.

This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.

The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.

The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.

Where there is an in-slab heating or cooling system, the applicant must:

- (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or  
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.

NOTE : REFER TO PAGE 16  
UNIT 1 HAS BEEN DESIGNED FOR ADAPTABLE HOUSING  
AS PER AUSTRALIAN STANDARDS AS 4299 - 1995

UNIT 1 AREAS:

GROUND FLOOR - 47.00 m²  
FIRST FLOOR LIVING - 44.28 m²  
ALFRESCO - 16.42 m²  
SECOND FLOOR LIVING - 51.30 m²  
TOTAL = 159.00 m²

UNIT 2 AREAS:

GROUND FLOOR - 44.21 m²  
FIRST FLOOR LIVING - 42.63 m²  
ALFRESCO - 15.81 m²  
SECOND FLOOR LIVING - 45.12 m²  
TOTAL = 147.77 m²

UNIT 3 AREAS:

GROUND FLOOR - 44.21 m²  
FIRST FLOOR LIVING - 42.63 m²  
ALFRESCO - 15.81 m²  
SECOND FLOOR LIVING - 45.12 m²  
TOTAL = 147.77 m²

UNIT 4 AREAS:

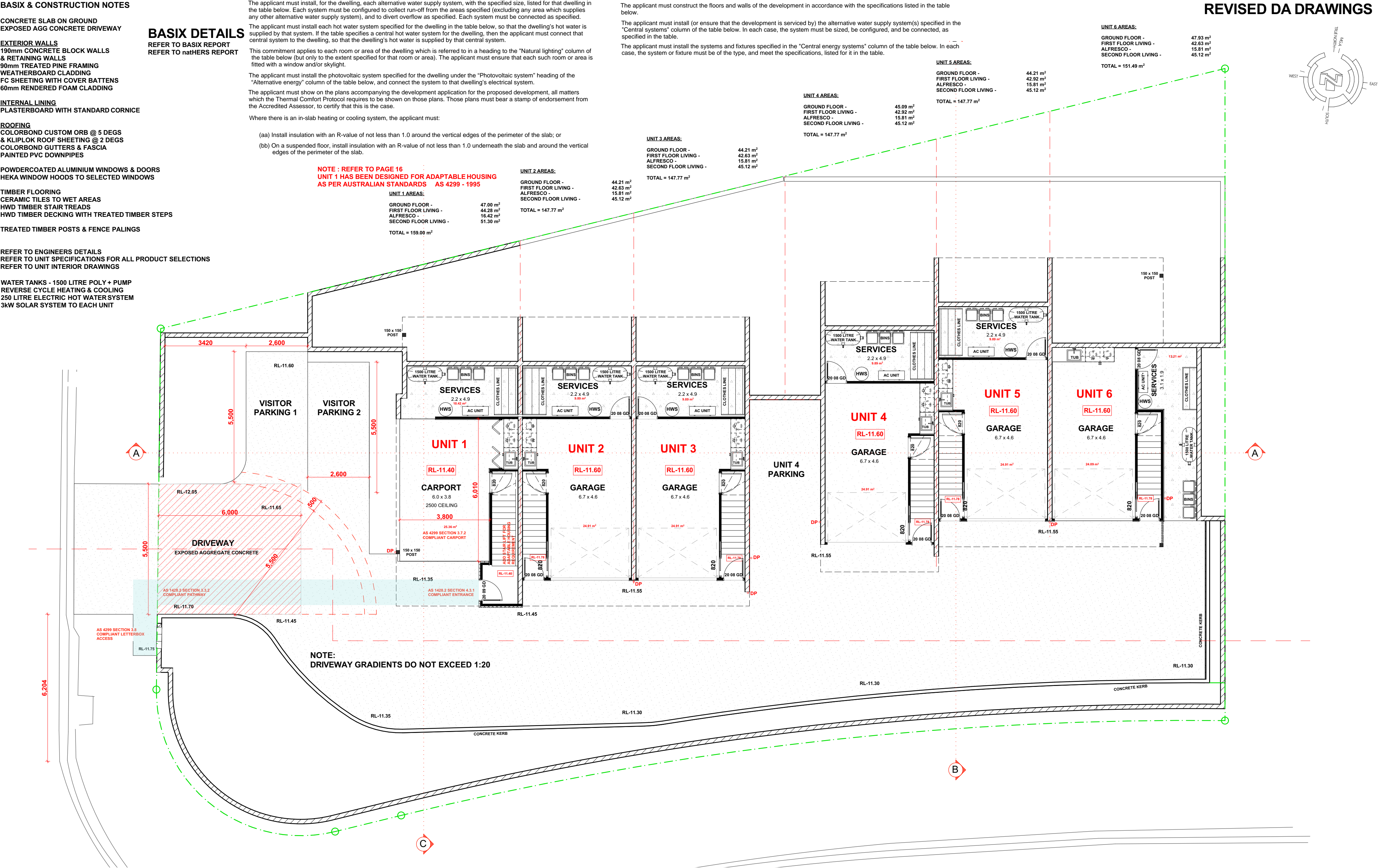
GROUND FLOOR - 45.09 m²  
FIRST FLOOR LIVING - 42.92 m²  
ALFRESCO - 15.81 m²  
SECOND FLOOR LIVING - 45.12 m²  
TOTAL = 147.77 m²

UNIT 5 AREAS:

GROUND FLOOR - 44.21 m²  
FIRST FLOOR LIVING - 42.92 m²  
ALFRESCO - 15.81 m²  
SECOND FLOOR LIVING - 45.12 m²  
TOTAL = 147.77 m²

UNIT 6 AREAS:

GROUND FLOOR - 47.93 m²  
FIRST FLOOR LIVING - 42.63 m²  
ALFRESCO - 15.81 m²  
SECOND FLOOR LIVING - 45.12 m²  
TOTAL = 151.49 m²



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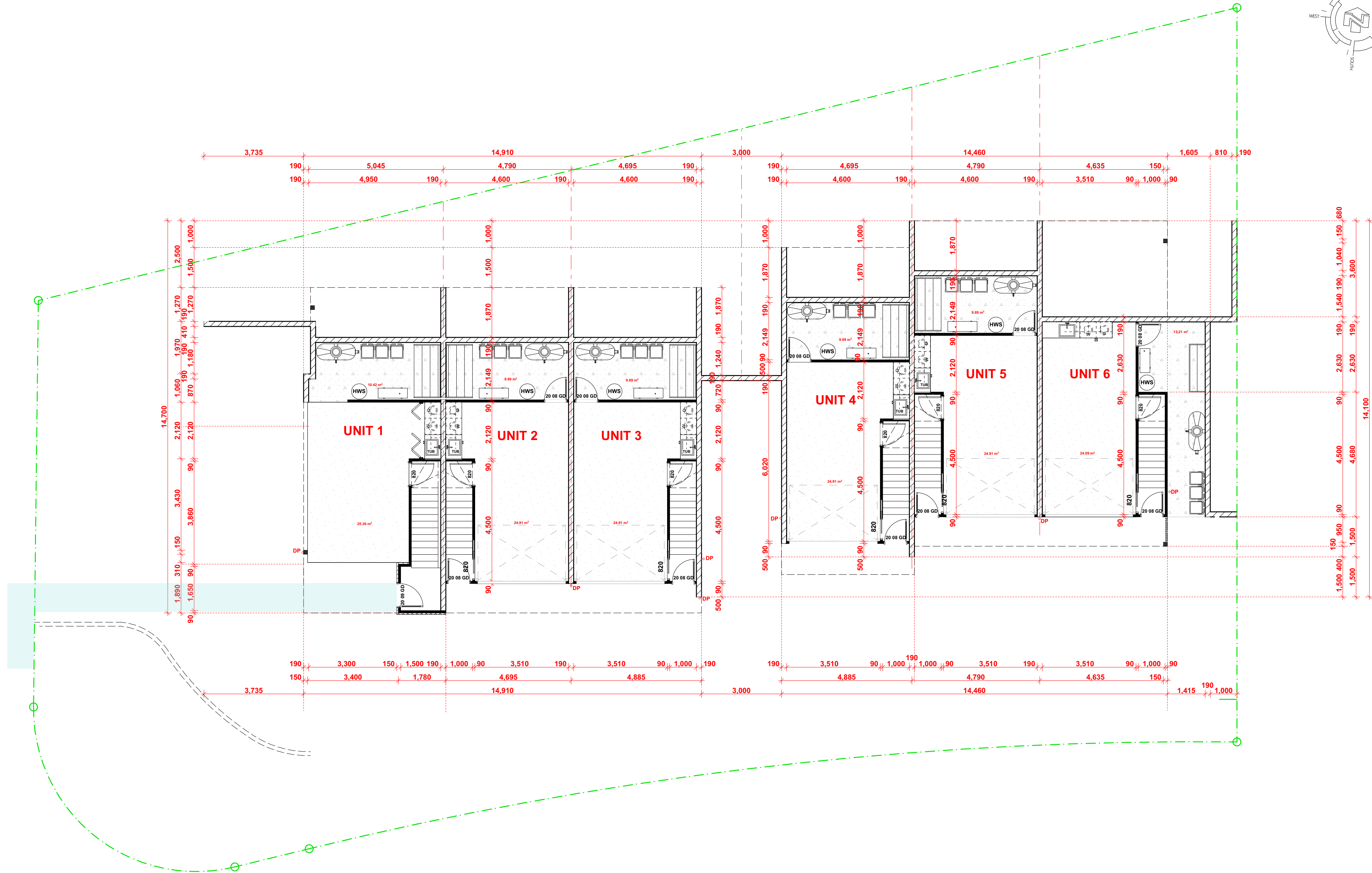
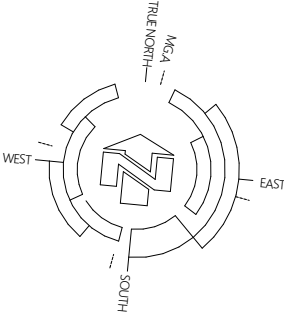
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GROUND FLOOR PLAN





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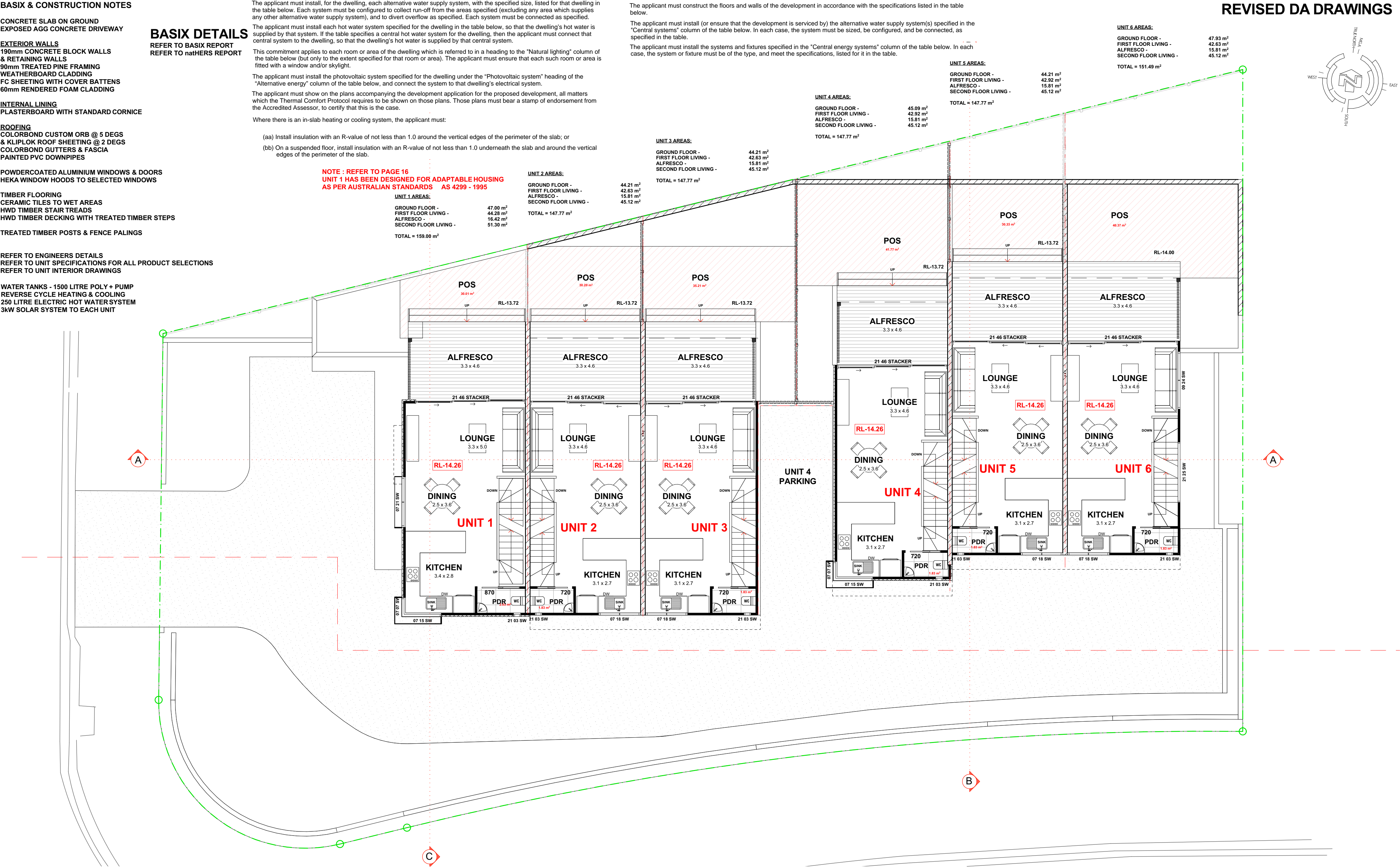
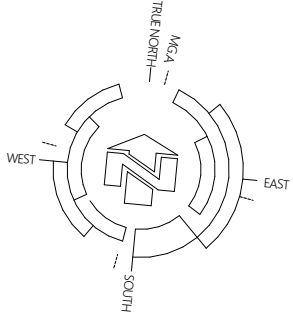
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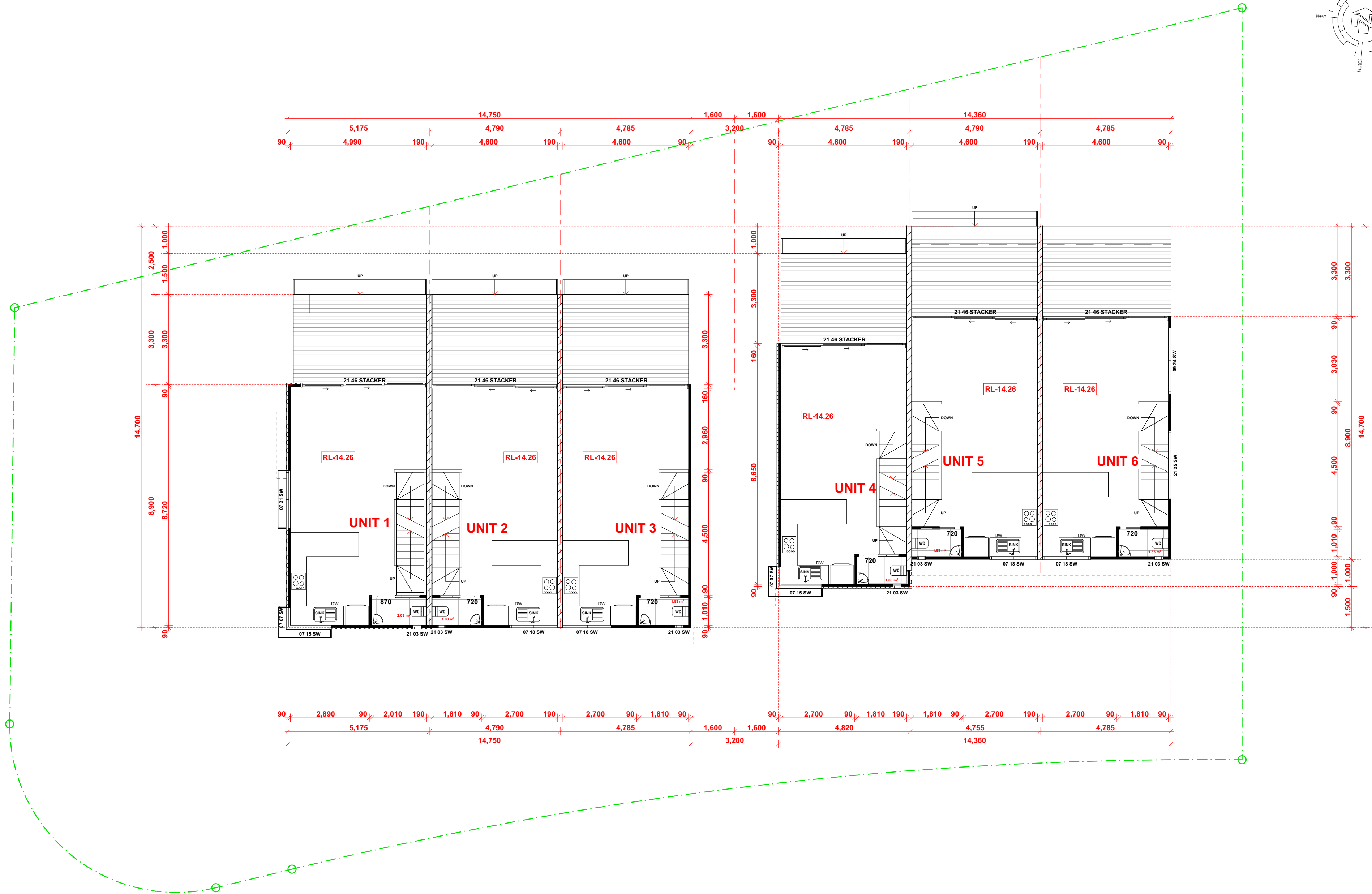
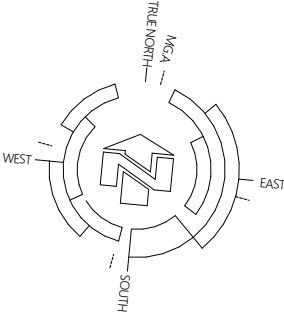
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I	26/08/20	Adaptable Floorplans Added + Path	AP
J	20/10/20	MOVING UNITS + REVISIONS	AP
K	19/04/21	Redesign to 6 Units	SR AP
L	07/07/22	DA Drawing Revisions	SR AP

rev.	date	description	initi.

client	project number	drawing number	drawing print date
Adam Mangleson	19013	04	8/07/2022
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	L	FIRST FLOOR PLAN
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	





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project	scale	issue	drawing name
Townhouse Development	1:100 on A2	L	FIRST FLOOR DIMENSIONS
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	



BASIX & CONSTRUCTION NOTES

CONCRETE SLAB ON GROUND  
EXPOSED AGG CONCRETE DRIVEWAY

EXTERIOR WALLS  
190mm CONCRETE BLOCK WALLS  
& RETAINING WALLS  
90mm TREATED PINE FRAMING  
WEATHERBOARD CLADDING  
FC SHEETING WITH COVER BATTENS  
60mm RENDERED FOAM CLADDING

INTERNAL LINING  
PLASTERBOARD WITH STANDARD CORNICE

ROOFING  
COLORBOND CUSTOM ORB @ 5 DEGS  
& KLIPLOK ROOF SHEETING @ 2 DEGS  
COLORBOND GUTTERS & FASCIA  
PAINTED PVC DOWNPIPES

POWDERCOATED ALUMINIUM WINDOWS & DOORS  
HEKA WINDOW HOODS TO SELECTED WINDOWS

TIMBER FLOORING  
CERAMIC TILES TO WET AREAS  
HWD TIMBER STAIR TREADS  
HWD TIMBER DECKING WITH TREATED TIMBER STEPS

TREATED TIMBER POSTS & FENCE PALINGS

REFER TO ENGINEERS DETAILS  
REFER TO UNIT SPECIFICATIONS FOR ALL PRODUCT SELECTIONS  
REFER TO UNIT INTERIOR DRAWINGS

WATER TANKS - 1500 LITRE POLY + PUMP  
REVERSE CYCLE HEATING & COOLING  
250 LITRE ELECTRIC HOT WATER SYSTEM  
3kW SOLAR SYSTEM TO EACH UNIT

BASIX DETAILS

REFER TO BASIX REPORT  
REFER TO natHERS REPORT

The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.

This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.

The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.

The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.

Where there is an in-slab heating or cooling system, the applicant must:

- (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or  
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.

NOTE : REFER TO PAGE 16  
UNIT 1 HAS BEEN DESIGNED FOR ADAPTABLE HOUSING  
AS PER AUSTRALIAN STANDARDS AS 4299 - 1995

UNIT 1 AREAS:	
GROUND FLOOR -	47.00 m <sup>2</sup>
FIRST FLOOR LIVING -	44.28 m <sup>2</sup>
ALFRESCO -	16.42 m <sup>2</sup>
SECOND FLOOR LIVING -	51.30 m <sup>2</sup>
TOTAL = 159.00 m <sup>2</sup>	

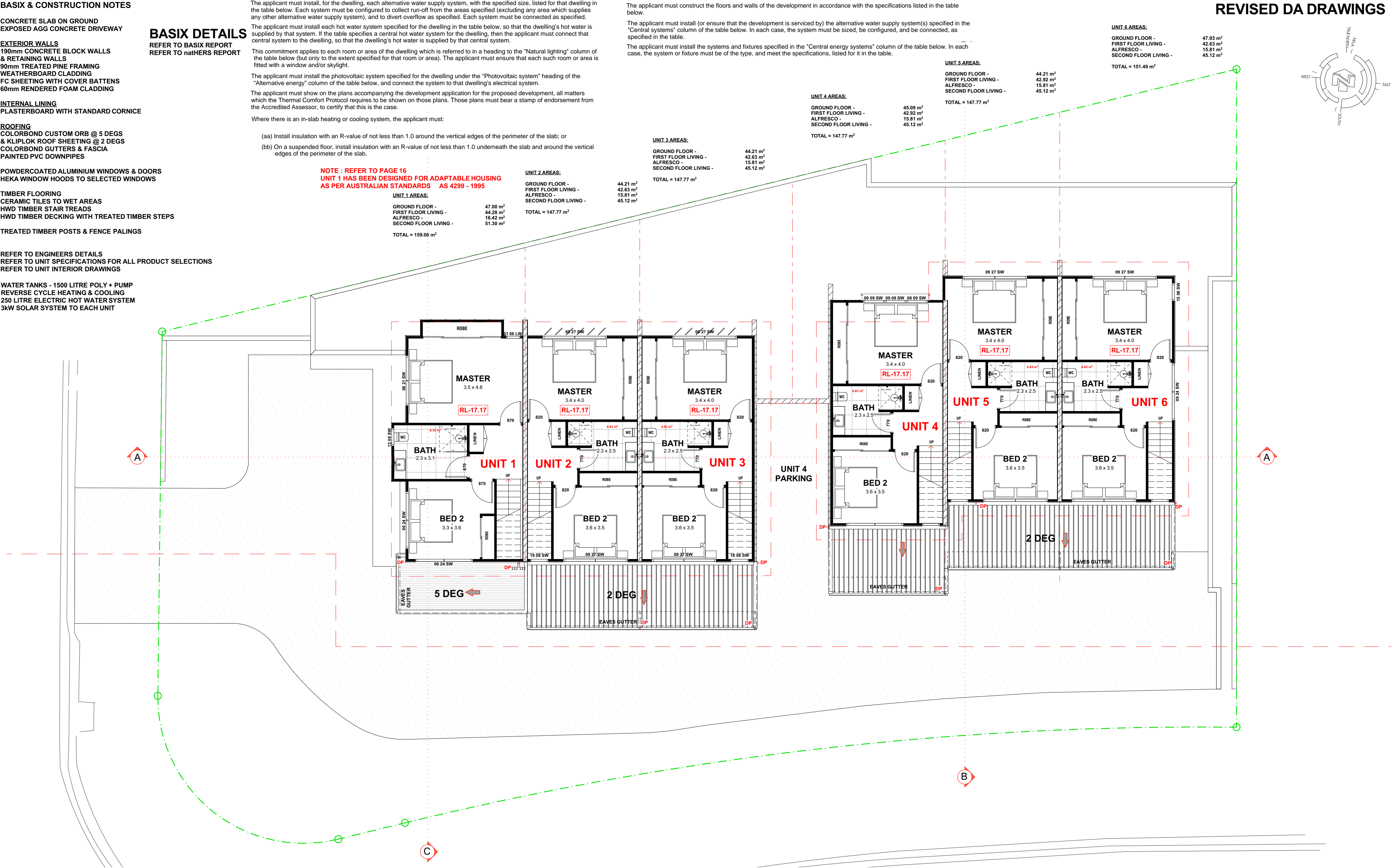
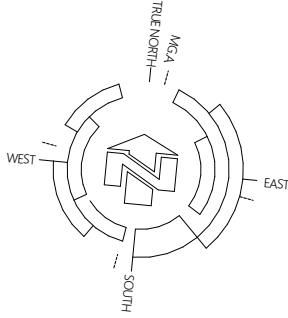
UNIT 2 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL = 147.77 m <sup>2</sup>	

UNIT 3 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL = 147.77 m <sup>2</sup>	

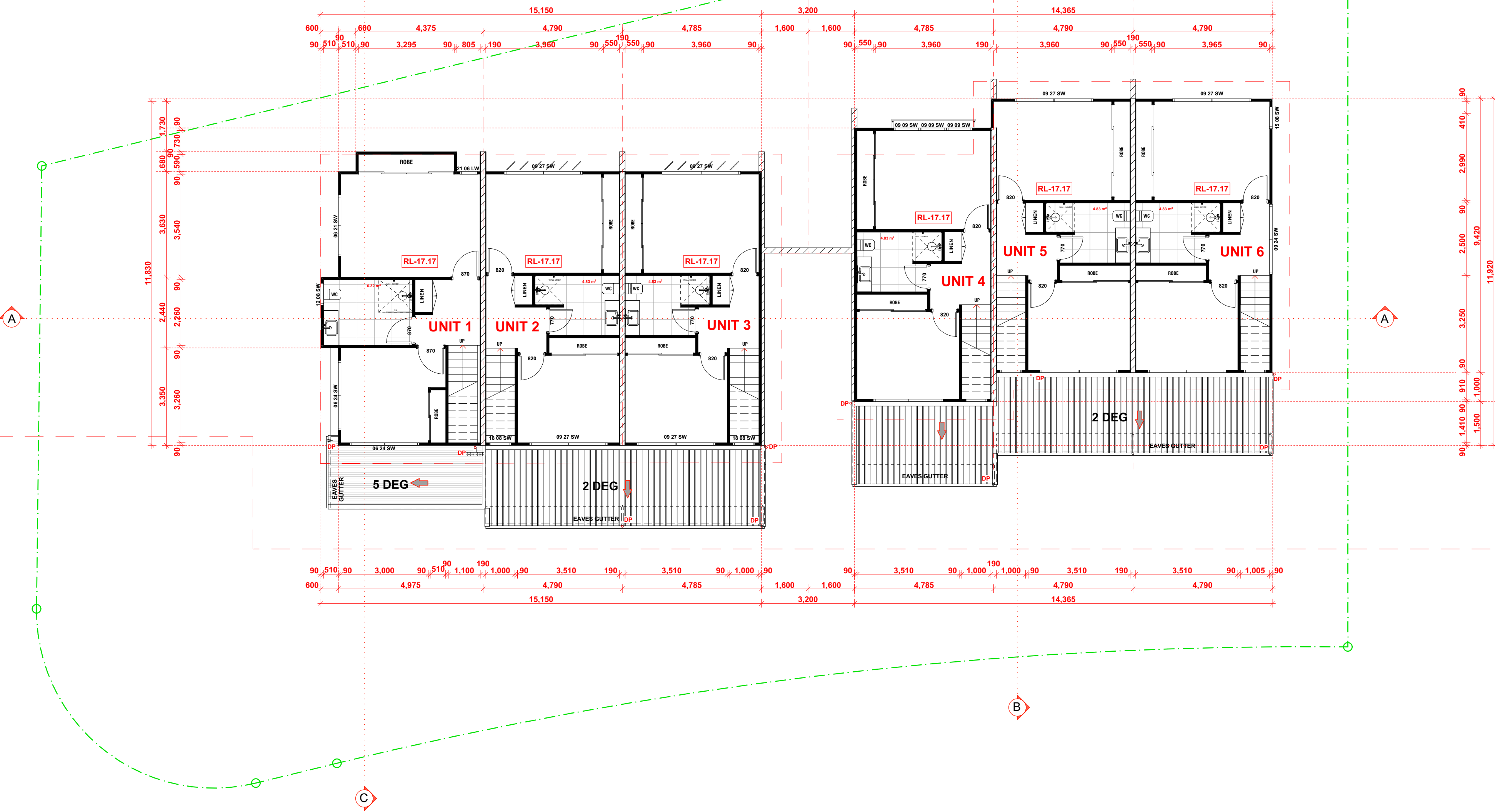
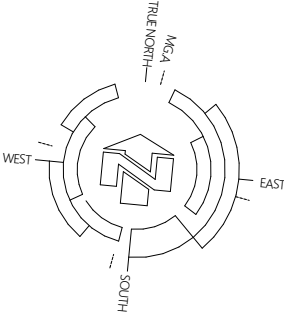
UNIT 4 AREAS:	
GROUND FLOOR -	45.09 m <sup>2</sup>
FIRST FLOOR LIVING -	42.92 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL = 147.77 m <sup>2</sup>	

UNIT 5 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.92 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL = 147.77 m <sup>2</sup>	

UNIT 6 AREAS:	
GROUND FLOOR -	47.93 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL = 151.49 m <sup>2</sup>	







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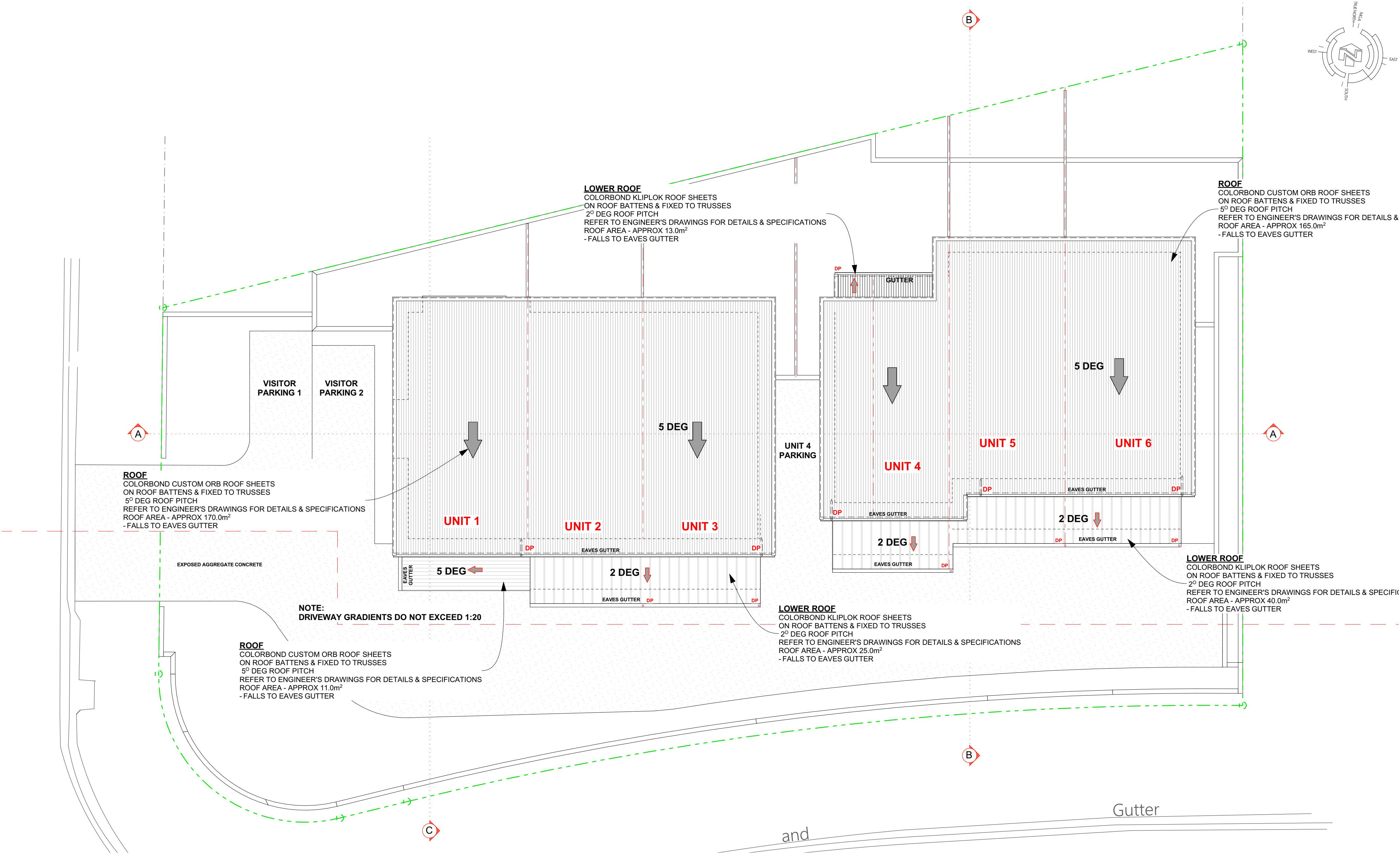
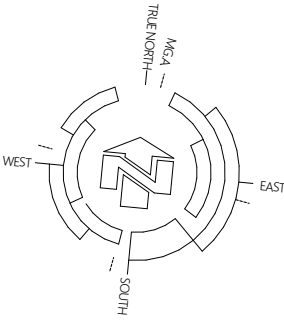
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F	17/10/19	Drawing Additions	AP

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J	20/10/20	MOVING UNITS + REVISIONS	AP
K	19/04/21	Redesign to 6 Units	SR AP
L	07/07/22	DA Drawing Revisions	SR AP

rev.	date	description	initi.

client	project number	drawing number	drawing print date
Adam Mangleson	19013	07	8/07/2022
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	L	SECOND FLOOR DIMENSIONS
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	





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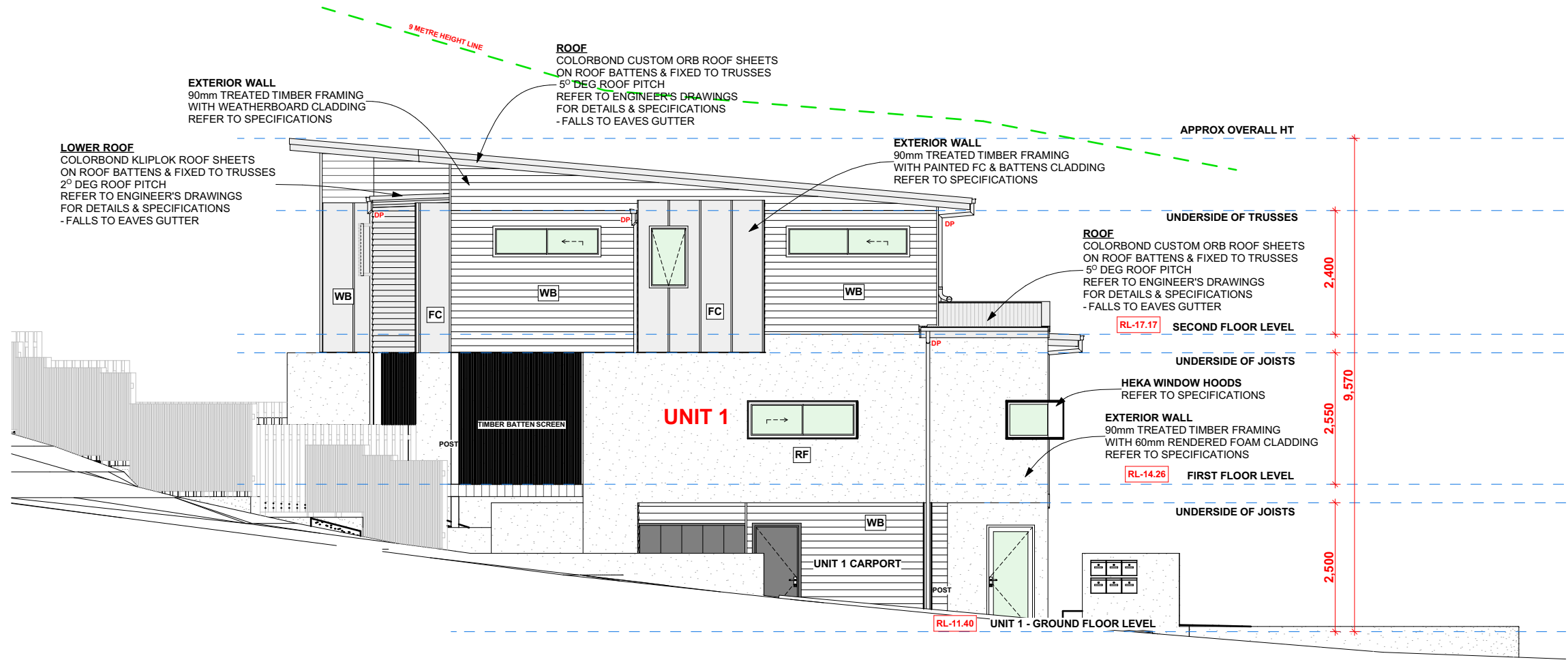
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Adam Mangleson	19013	08	8/07/2022
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	L	ROOF PLAN
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	



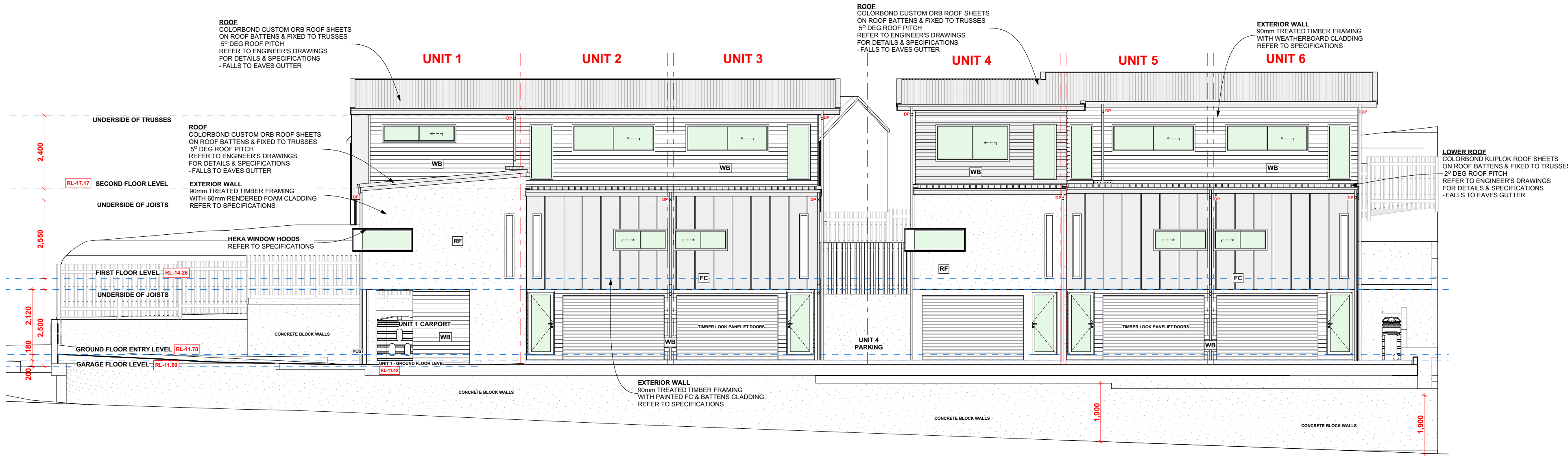
NOTE  
FOR ALL STRUCTURAL SIZING,  
FOUNDATIONS, SLABS,  
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TIEDOWN AND BRACING  
REFER TO ENGINEERS DRAWINGS.

REVISED DA DRAWINGS

WEST - ELEVATION 1



SOUTH - ELEVATION 2



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K	19/04/21	Redesign to 6 Units	SR AP
L	07/07/22	DA Drawing Revisions	SR AP

rev.	date	description	init.

client

Adam Mangleson

project

Townhouse Development

8 Kumbellin Glen,

Ocean Shores, NSW

project number

19013

scale

1:100 on A2

drawn

SR

issue

L

checked

Sam Ray

drawing number

09

drawing name

WEST & SOUTH ELEVATIONS

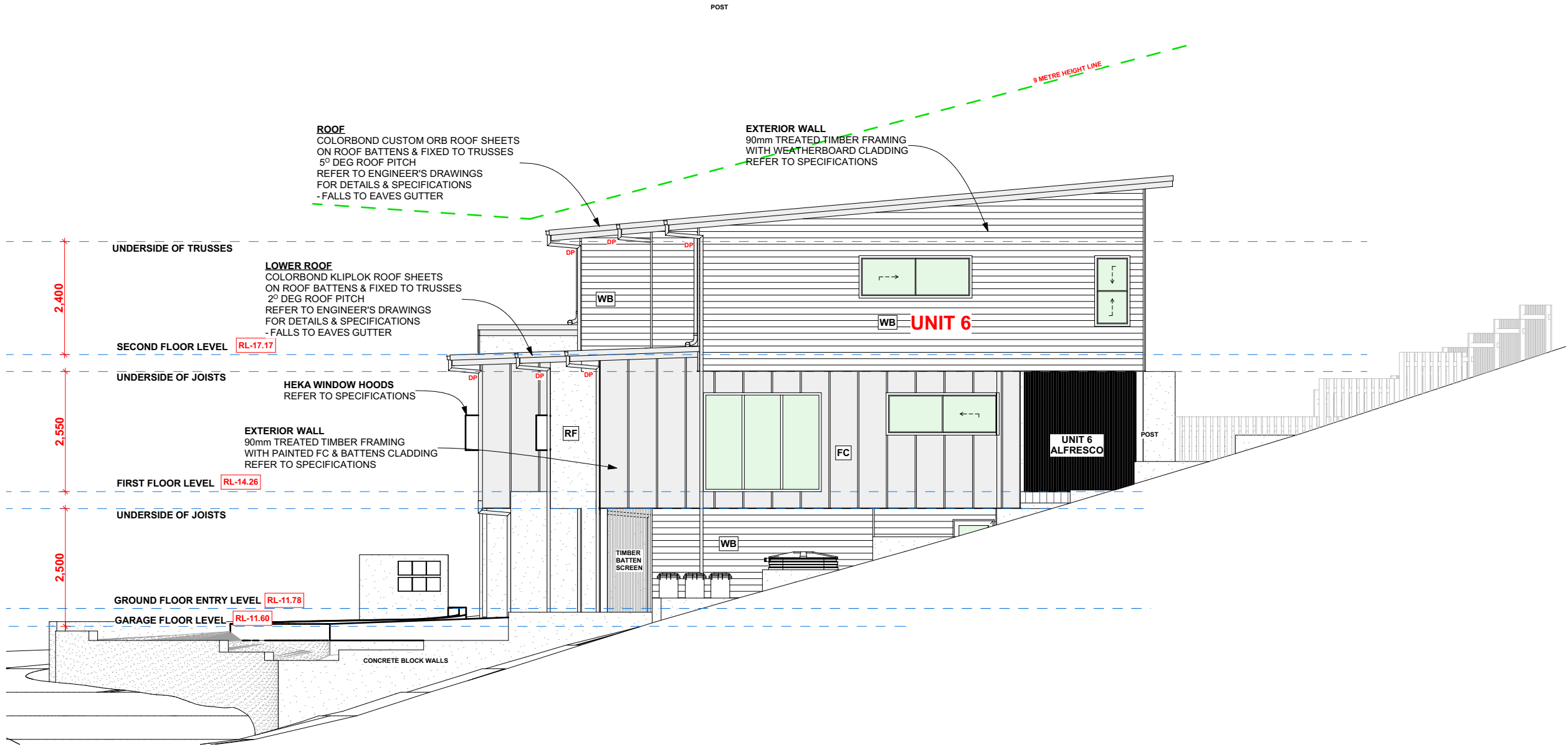
drawing print date

8/07/2022

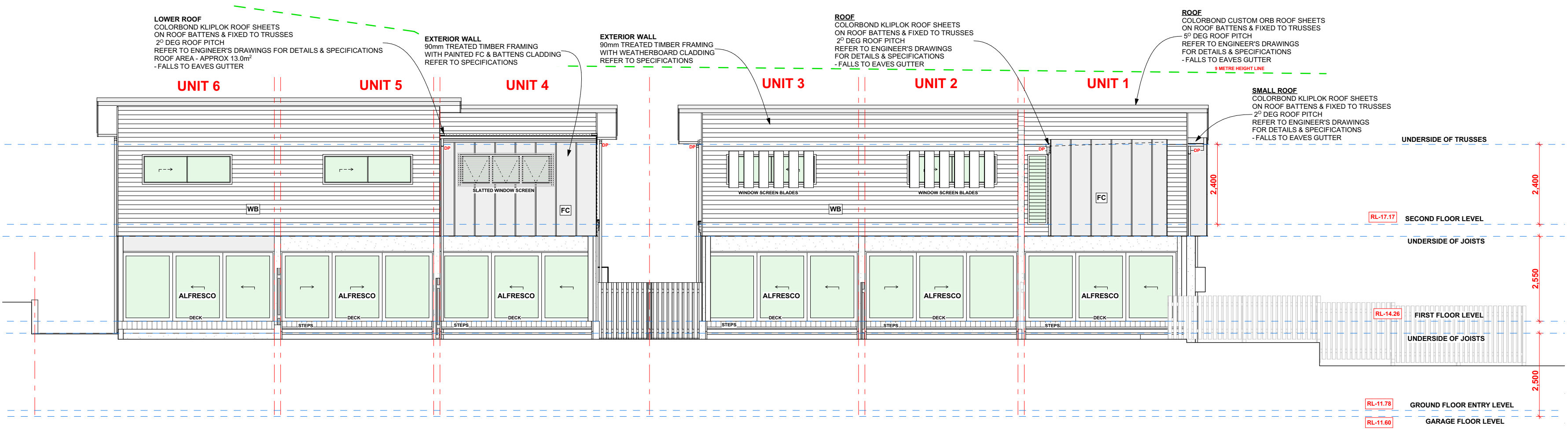


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TIEDOWN AND BRACING  
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EAST - ELEVATION 3



NORTH - ELEVATION 4



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J	20/10/20	MOVING UNITS + REVISIONS	AP
K	19/04/21	Redesign to 6 Units	SR AP
L	07/07/22	DA Drawing Revisions	SR AP

rev.	date	description	initi.

client

Adam Mangleson

project

Townhouse Development

8 Kumbellin Glen,  
Ocean Shores, NSW

project number

19013

scale

1:100 on A2

drawn

SR

issue

L

checked

Sam Ray

drawing number

10

drawing name

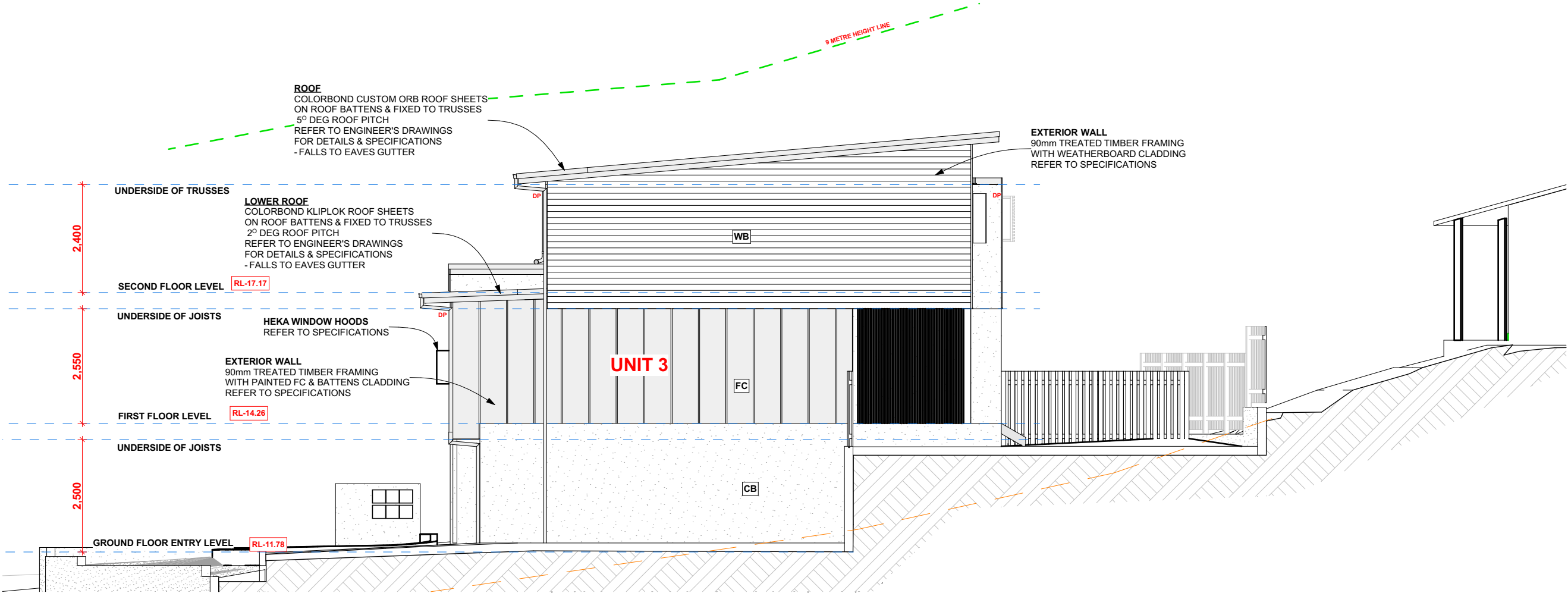
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drawing print date

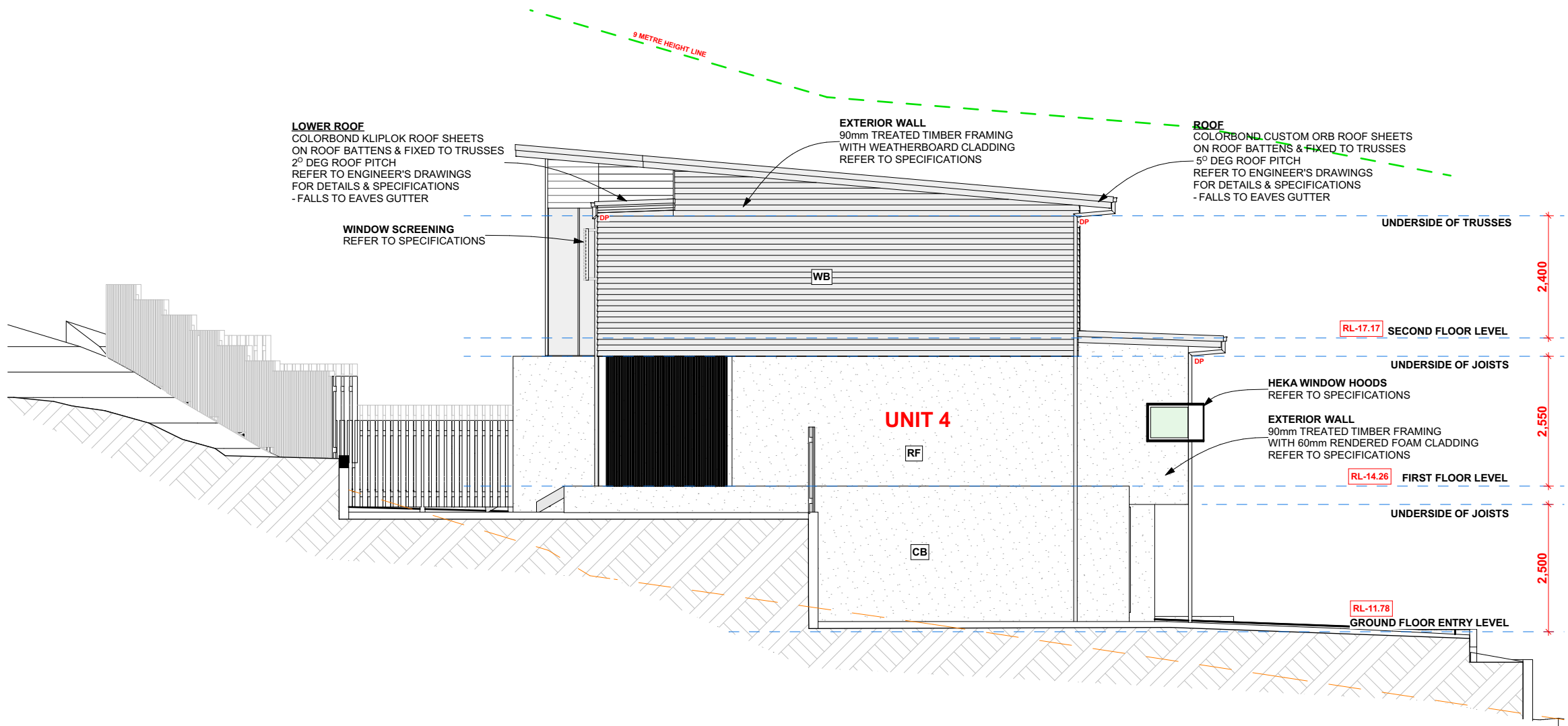
8/07/2022



ELEVATION 05



ELEVATION 06



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K	19/04/21	Redesign to 6 Units	SR AP
L	07/07/22	DA Drawing Revisions	SR AP

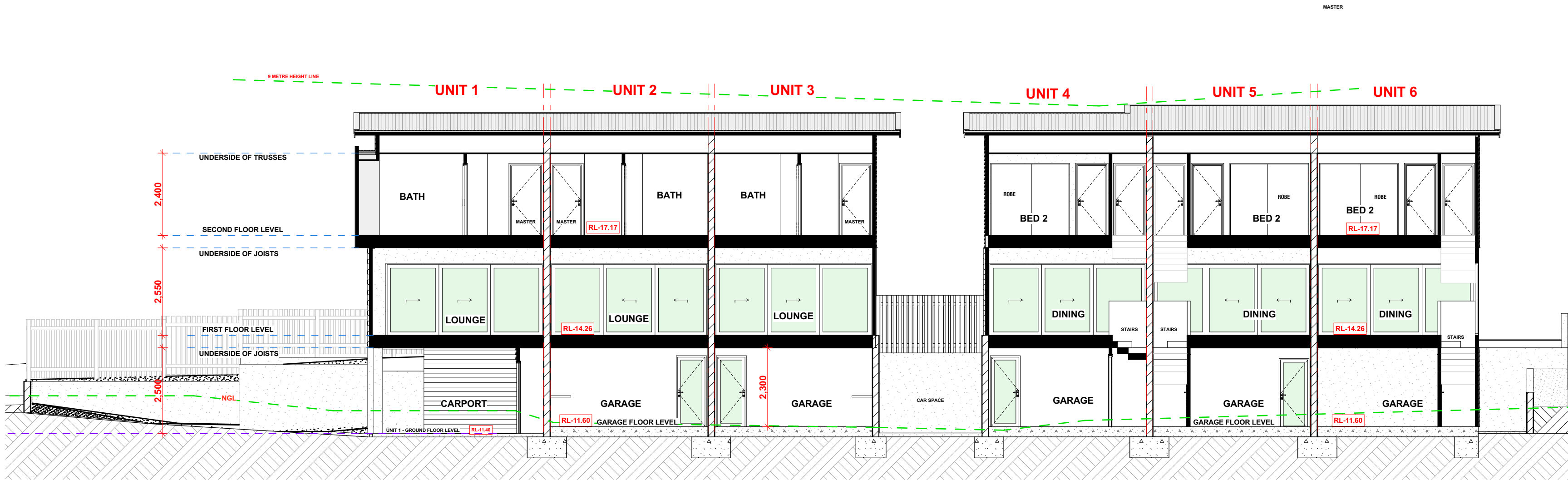
rev.	date	description	initi.

client	project number	drawing number	drawing print date
Adam Mangleson	19013	11	8/07/2022
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	L	ELEVATIONS 5 & 6
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	

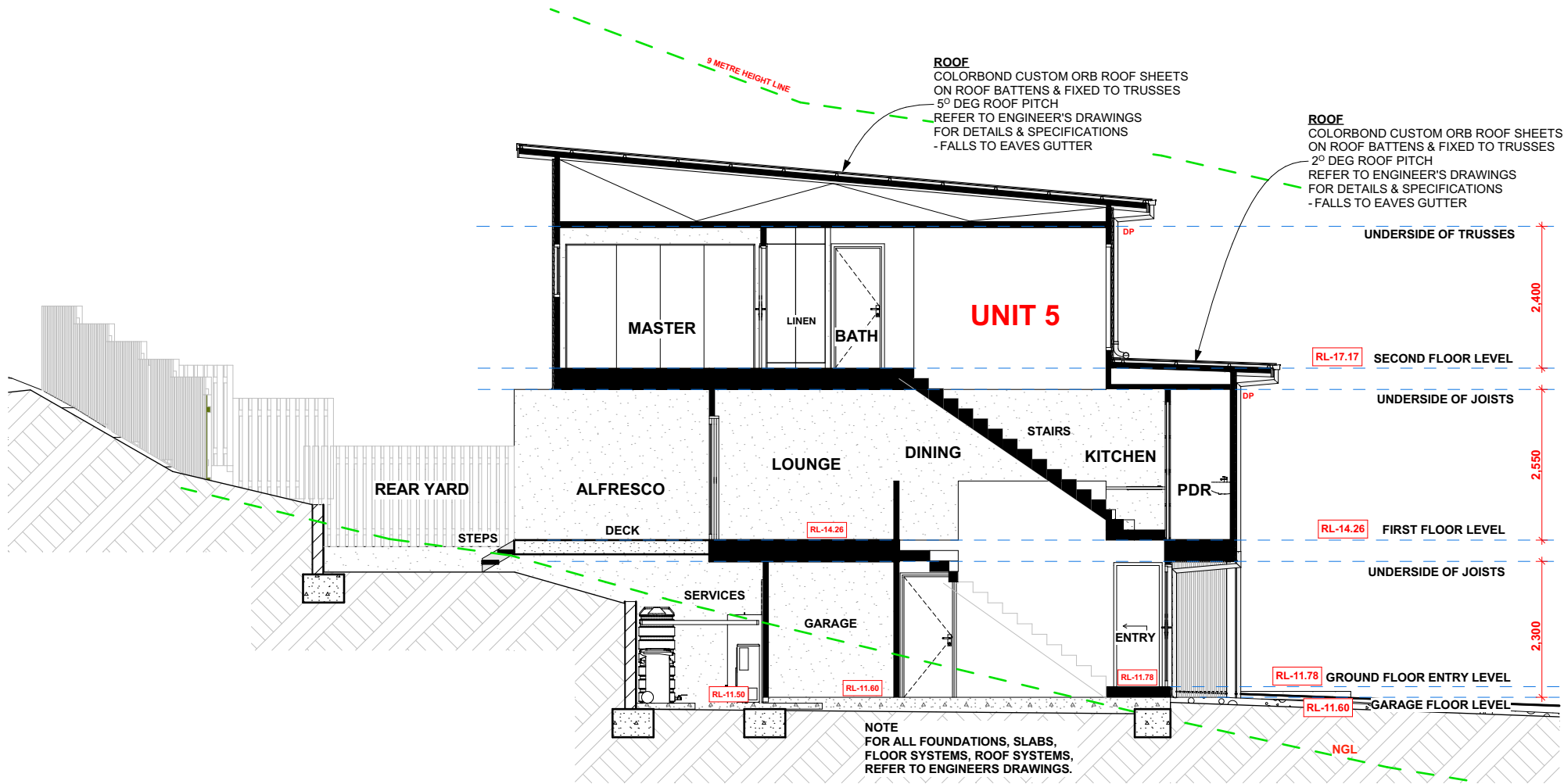


NOTE  
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SECTION A



SECTION B



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L	07/07/22	DA Drawing Revisions	SR AP

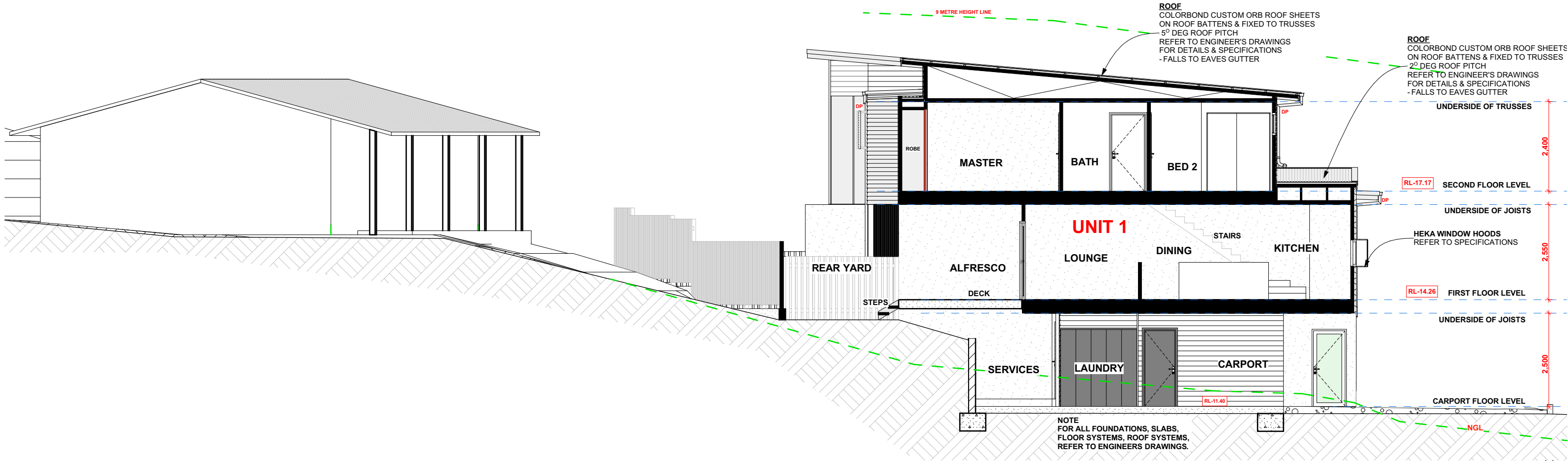
rev.	date	description	initi.

client	project number	drawing number	drawing print date
Adam Mangleson	19013	12	8/07/2022
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	L	SECTION A & B
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	

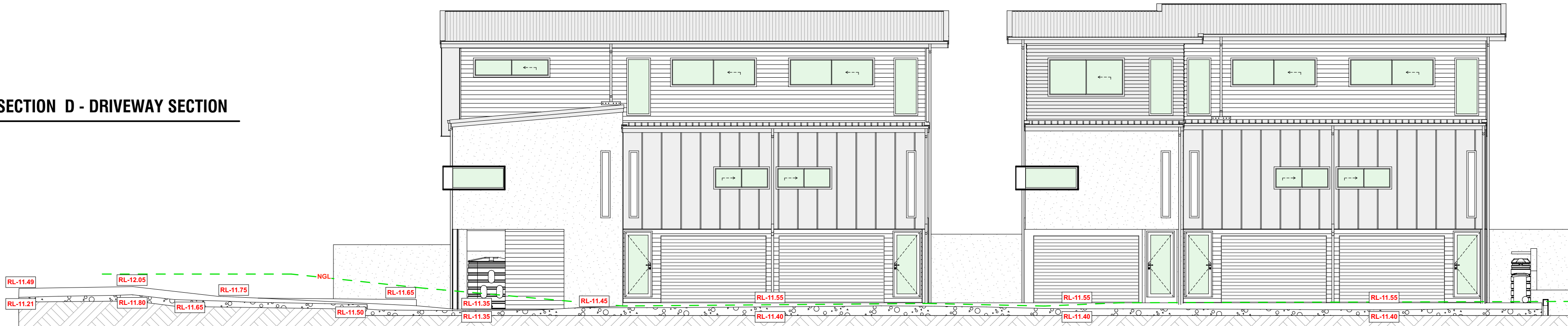


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SECTION C



SECTION D - DRIVEWAY SECTION



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J	20/10/20	MOVING UNITS + REVISIONS	AP
K	19/04/21	Redesign to 6 Units	SR AP
L	07/07/22	DA Drawing Revisions	SR AP

rev.	date	description	initi.

client	project number	drawing number	drawing print date
Adam Mangleson	19013	13	8/07/2022
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	L	SECTION C + DRIVEWAY SECTION
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	

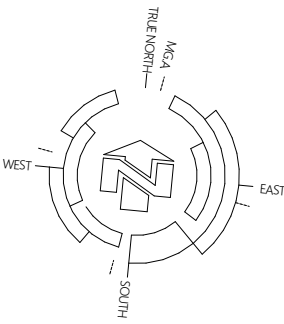


BASIX DETAILS

REFER TO BASIX REPORT

The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).

REVISED DA DRAWINGS



Landscaping Legend	
Fill	Name
	Grass / Turf
	Mulch
	Deep Soil Zone

SITE AREA	= 1075.0 m <sup>2</sup>
TOTAL LANDSCAPING AREA REQUIRED	= 490.00 m <sup>2</sup>
PRIVATE OPEN SPACE AREAS	= 249.53 m <sup>2</sup>
LANDSCAPE AREAS	= 243.83 m <sup>2</sup>
TOTAL LANDSCAPING AREA ACHIEVED	= 493.36 m <sup>2</sup>
TOTAL DEEP SOIL AREA REQUIRED	= 170.70 m <sup>2</sup>
TOTAL DEEP SOIL AREA ACHIEVED	= 176.50 m <sup>2</sup>

UNIT 1 AREAS:	
GROUND FLOOR -	47.00 m <sup>2</sup>
FIRST FLOOR LIVING -	44.28 m <sup>2</sup>
ALFRESCO -	16.42 m <sup>2</sup>
SECOND FLOOR LIVING -	51.30 m <sup>2</sup>
TOTAL =	159.00 m <sup>2</sup>

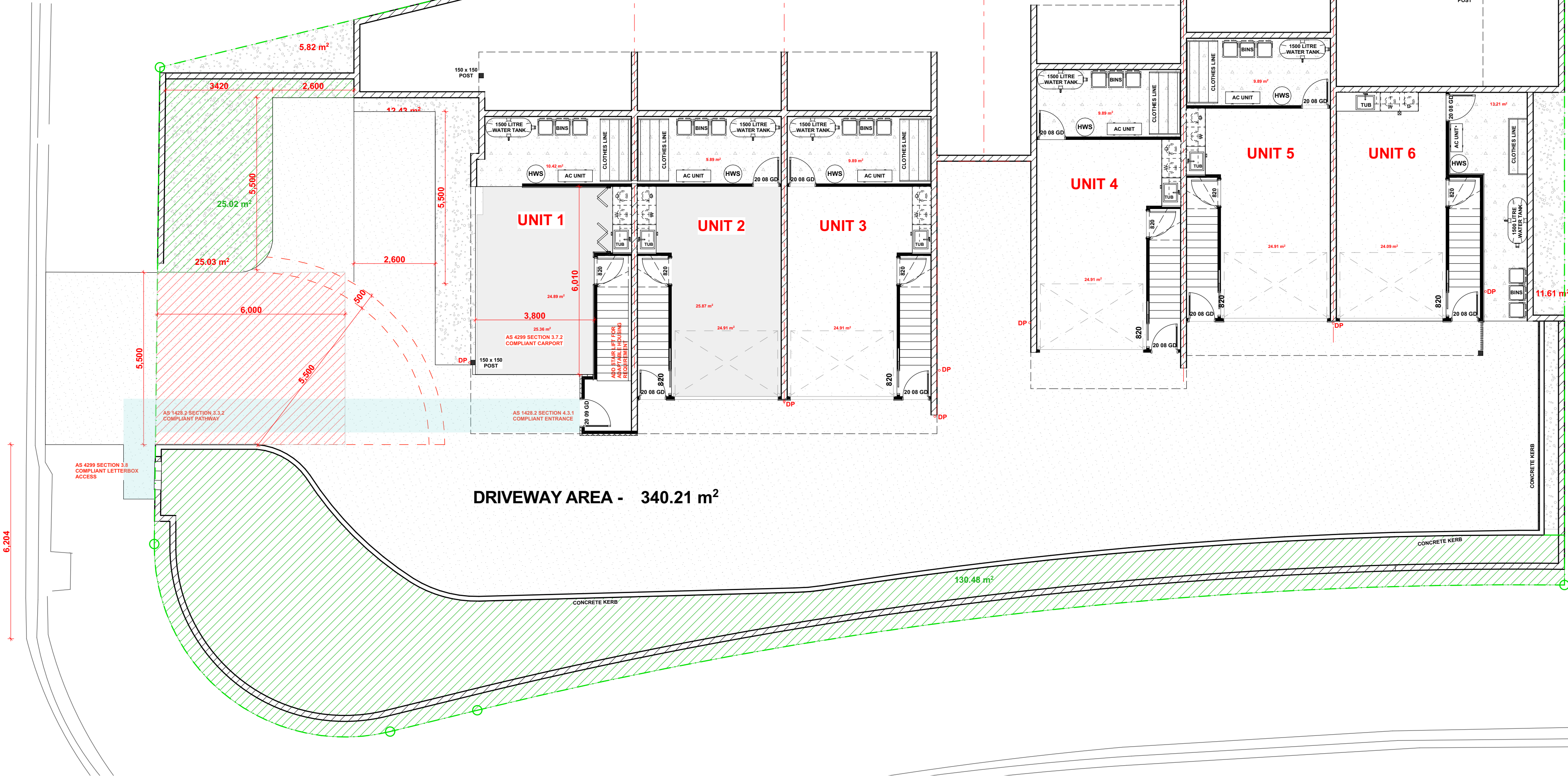
UNIT 2 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	147.77 m <sup>2</sup>

UNIT 3 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	147.77 m <sup>2</sup>

UNIT 4 AREAS:	
GROUND FLOOR -	45.09 m <sup>2</sup>
FIRST FLOOR LIVING -	42.92 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	147.77 m <sup>2</sup>

UNIT 5 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.92 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	147.77 m <sup>2</sup>

UNIT 6 AREAS:	
GROUND FLOOR -	47.93 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	151.49 m <sup>2</sup>



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A	14/05/19	Preliminary Layout	SR
B	03/07/19	DA drawings	AP
C	06/08/19	DA Drawing Revisions	AP
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F	17/10/19	Drawing Additions	AP

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K	19/04/21	Redesign to 6 Units	SR AP
L	07/07/22	DA Drawing Revisions	SR AP

rev.	date	description	initi.

client	project number	drawing number	drawing print date
Adam Mangleson	19013	14	8/07/2022
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	L	GROUND FLOOR LANDSCAPING
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	

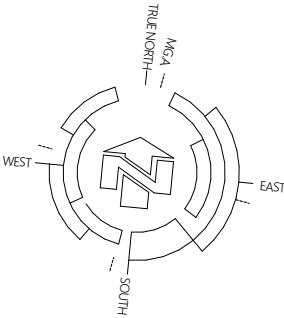


BASIX DETAILS

REFER TO BASIX REPORT

The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).

REVISED DA DRAWINGS



Landscaping Legend	
Fill	Name
	Grass / Turf
	Mulch
	Deep Soil Zone

SITE AREA	= 1075.0 m <sup>2</sup>
TOTAL LANDSCAPING AREA REQUIRED	= 490.00 m <sup>2</sup>
PRIVATE OPEN SPACE AREAS	= 249.53 m <sup>2</sup>
LANDSCAPE AREAS	= 243.83 m <sup>2</sup>
TOTAL LANDSCAPING AREA ACHIEVED	= 493.36 m <sup>2</sup>
TOTAL DEEP SOIL AREA REQUIRED	= 170.70 m <sup>2</sup>
TOTAL DEEP SOIL AREA ACHIEVED	= 176.50 m <sup>2</sup>

UNIT 1 AREAS:	
GROUND FLOOR -	47.00 m <sup>2</sup>
FIRST FLOOR LIVING -	44.28 m <sup>2</sup>
ALFRESCO -	16.42 m <sup>2</sup>
SECOND FLOOR LIVING -	51.30 m <sup>2</sup>
TOTAL =	159.00 m <sup>2</sup>

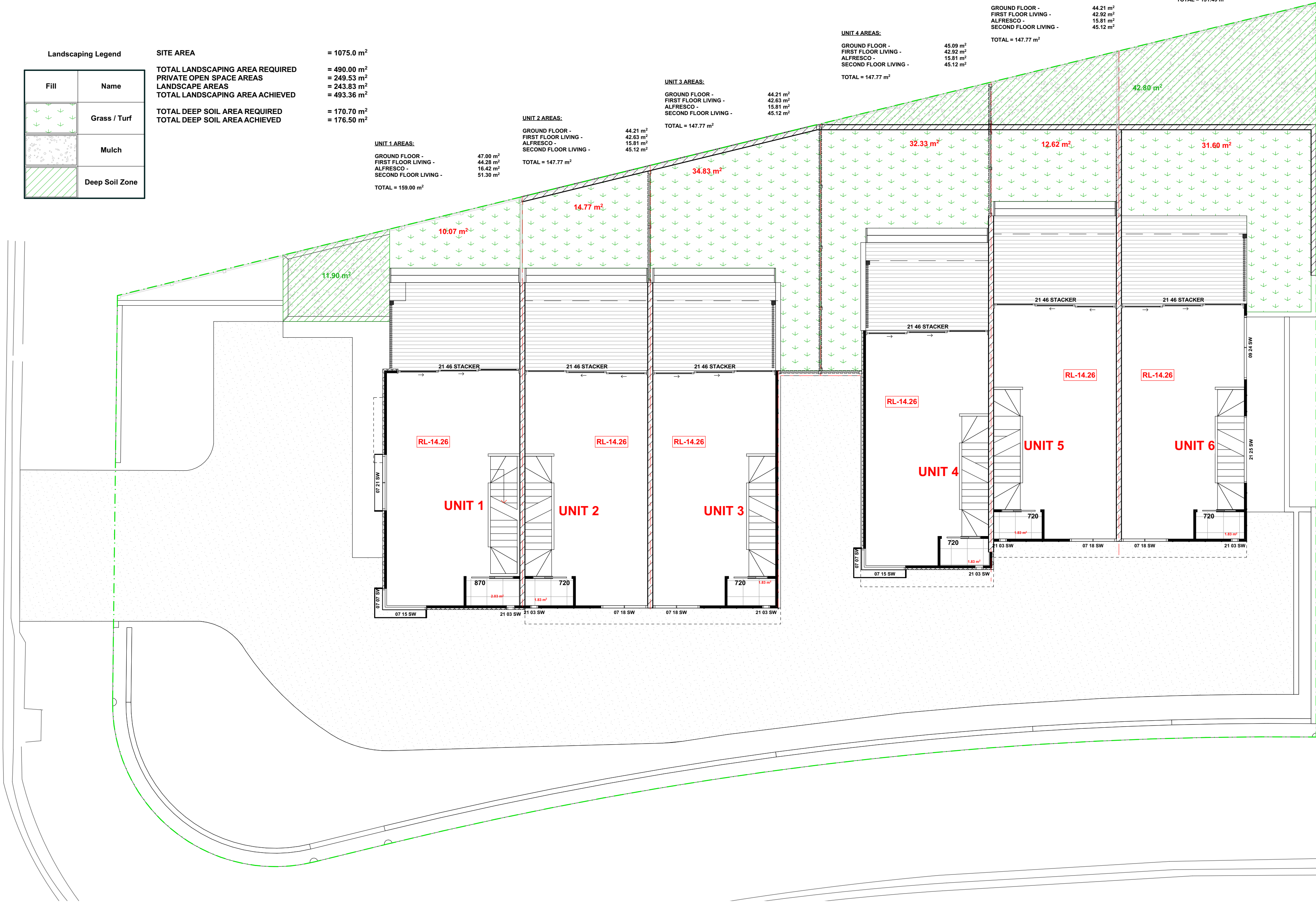
UNIT 2 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	147.77 m <sup>2</sup>

UNIT 3 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	147.77 m <sup>2</sup>

UNIT 4 AREAS:	
GROUND FLOOR -	45.09 m <sup>2</sup>
FIRST FLOOR LIVING -	42.92 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	147.77 m <sup>2</sup>

UNIT 5 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.92 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
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TOTAL =	151.49 m <sup>2</sup>



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K	19/04/21	Redesign to 6 Units	SR AP
L	07/07/22	DA Drawing Revisions	SR AP

rev.	date	description	initi.

client	project number	drawing number	drawing print date
Adam Mangleson	19013	15	8/07/2022
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	L	FIRST FLOOR LANDSCAPING
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	





EXTERIOR WALL  
WEATHERBOARD CLADDING  
COLOUR - SLATE GREY

ROOFING, FASCIA, GUTTERING & DOWNPIPES  
COLORBOND CUSTOM ORB & KLIPLOK SHEETING  
COLOUR - SLATE GREY

WINDOWS & DOORS  
POWDERCOATED BLACK

EXTERIOR WALL  
FC & BATTENS CLADDING  
PAINT COLOUR - SHALE GREY

EXTERIOR WALL  
60mm RENDERED FOAM CLADDING  
PAINT COLOUR - VIVID WHITE

HEKA WINDOW HOODS  
POWDERCOATED BLACK

GARAGE DOORS  
MONUMENT PANELIFT

EXPOSED AGG CONCRETE DRIVEWAY  
SALT & PEPPER COLOUR



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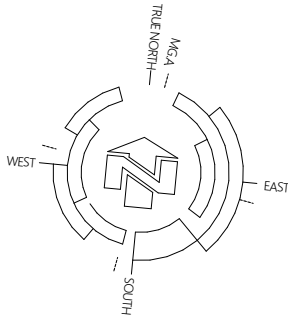
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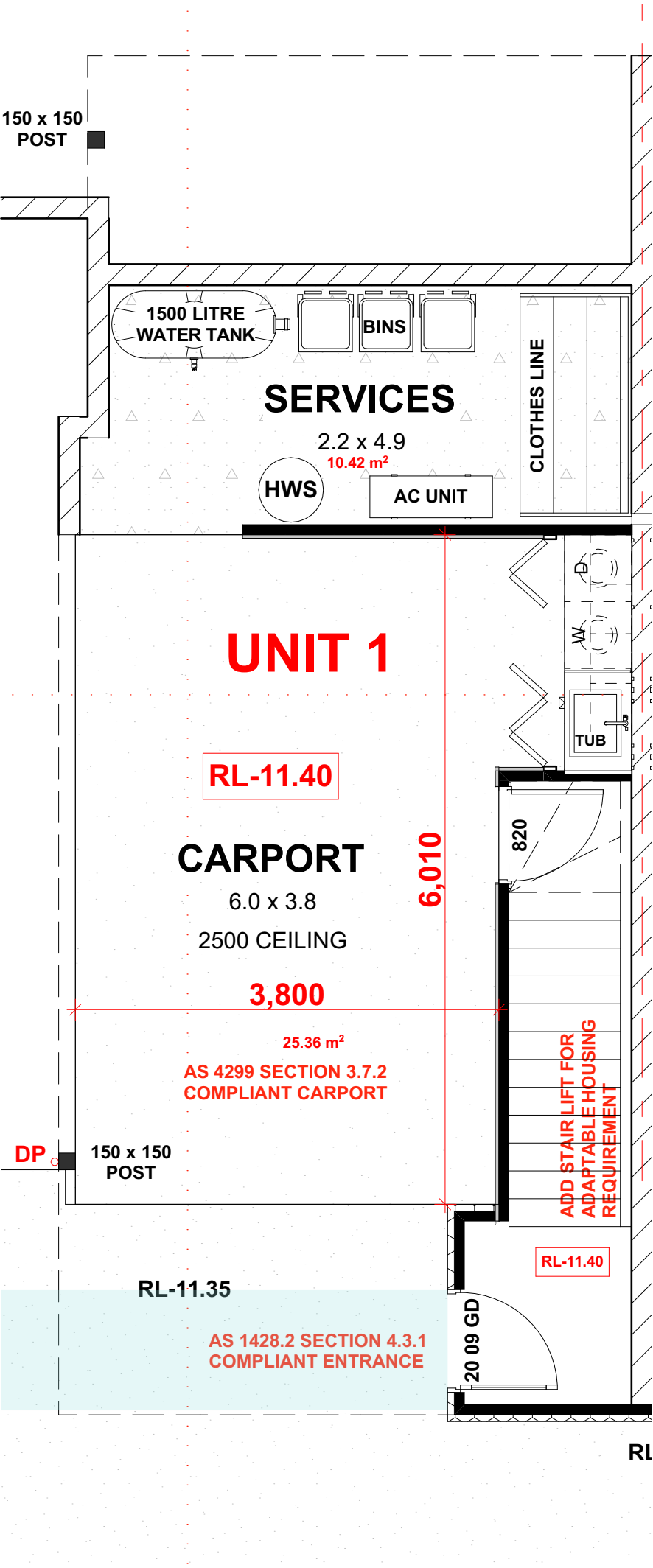
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Adam Mangleson	19013	16	8/07/2022
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	L	
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	

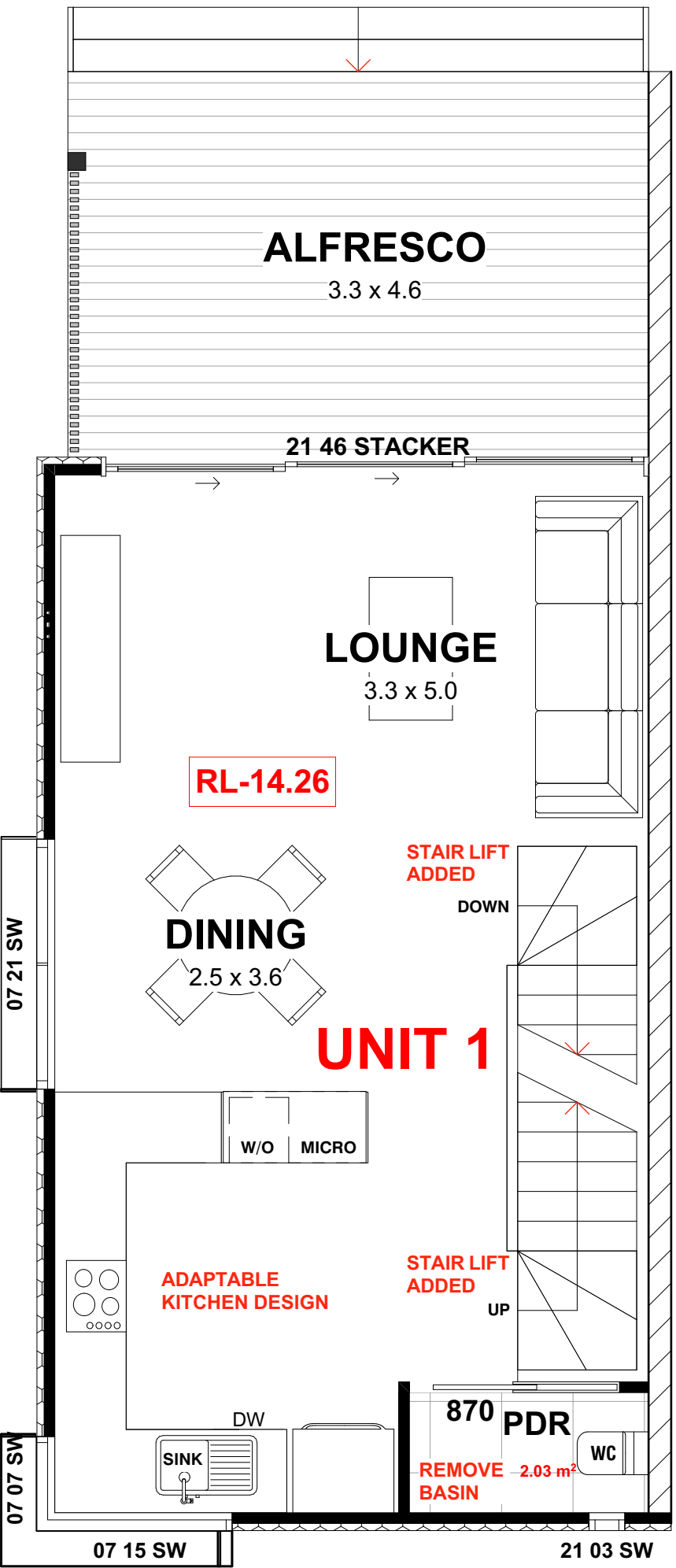
COLOURS & MATERIALS



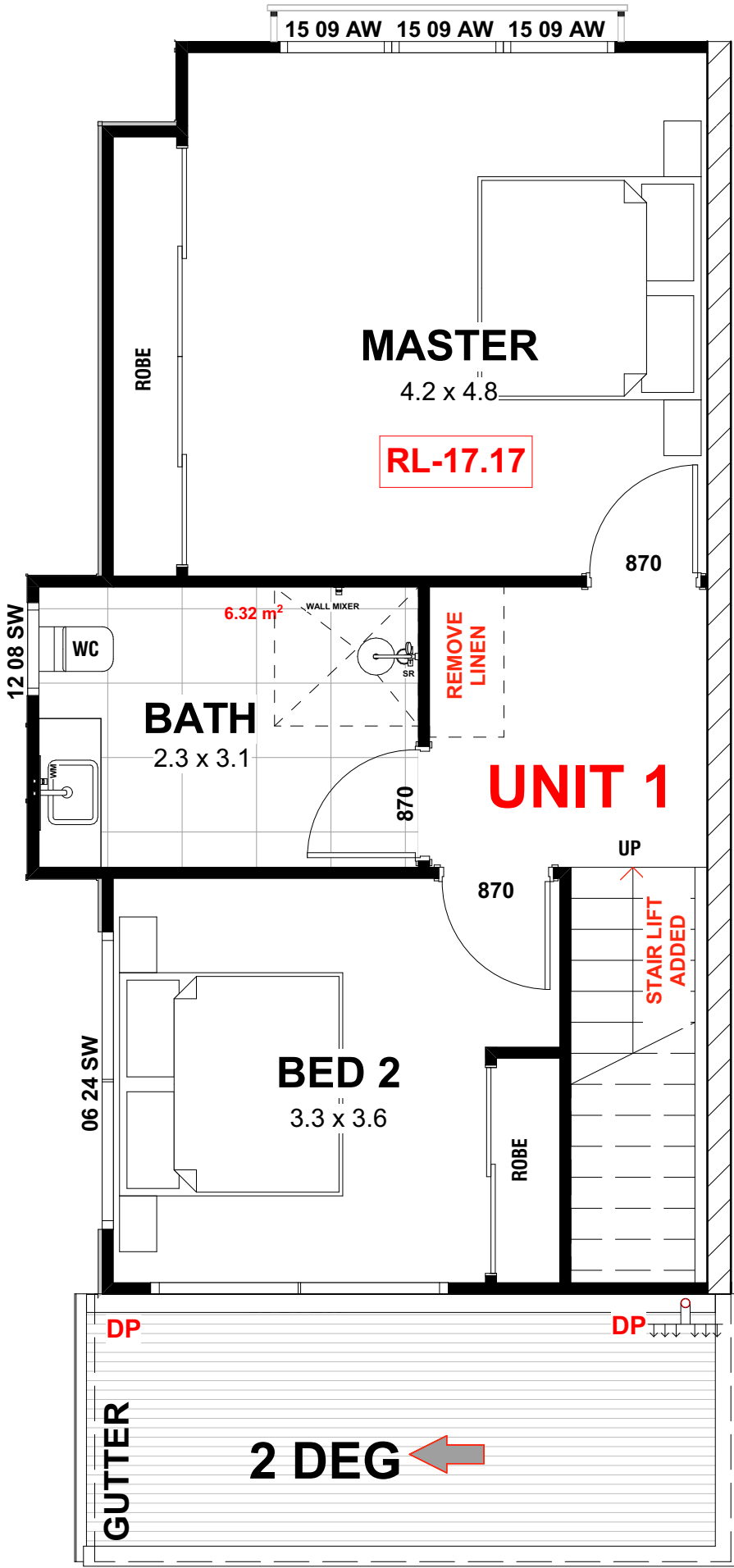
NOTE :  
UNIT 1 HAS BEEN DESIGNED FOR ADAPTABLE HOUSING  
AS PER AUSTRALIAN STANDARDS AS 4299 - 1995



GROUND FLOOR



FIRST FLOOR



SECOND FLOOR



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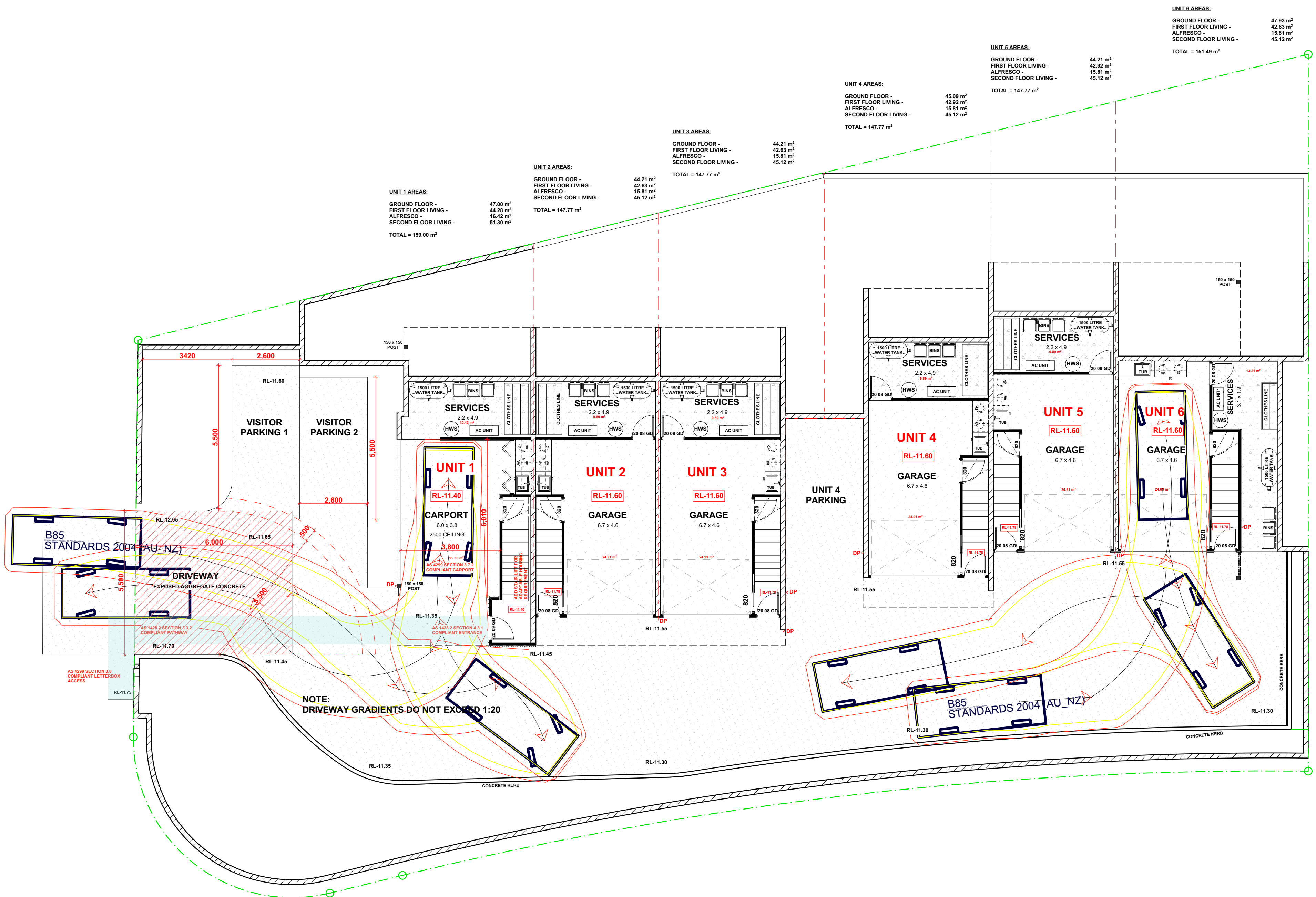
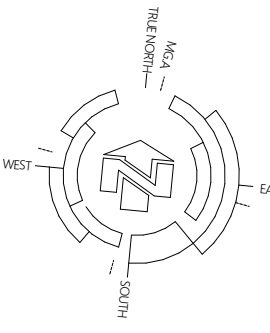
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client	project number	drawing number	drawing print date
Adam Mangleson	19013	17	8/07/2022
project	scale	issue	drawing name
Townhouse Development	1:50 on A2	L	ADAPTABLE FLOOR PLANS
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	





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NOTE:  
DRIVEWAY GRADIENTS DO NOT EXCEED 1:20

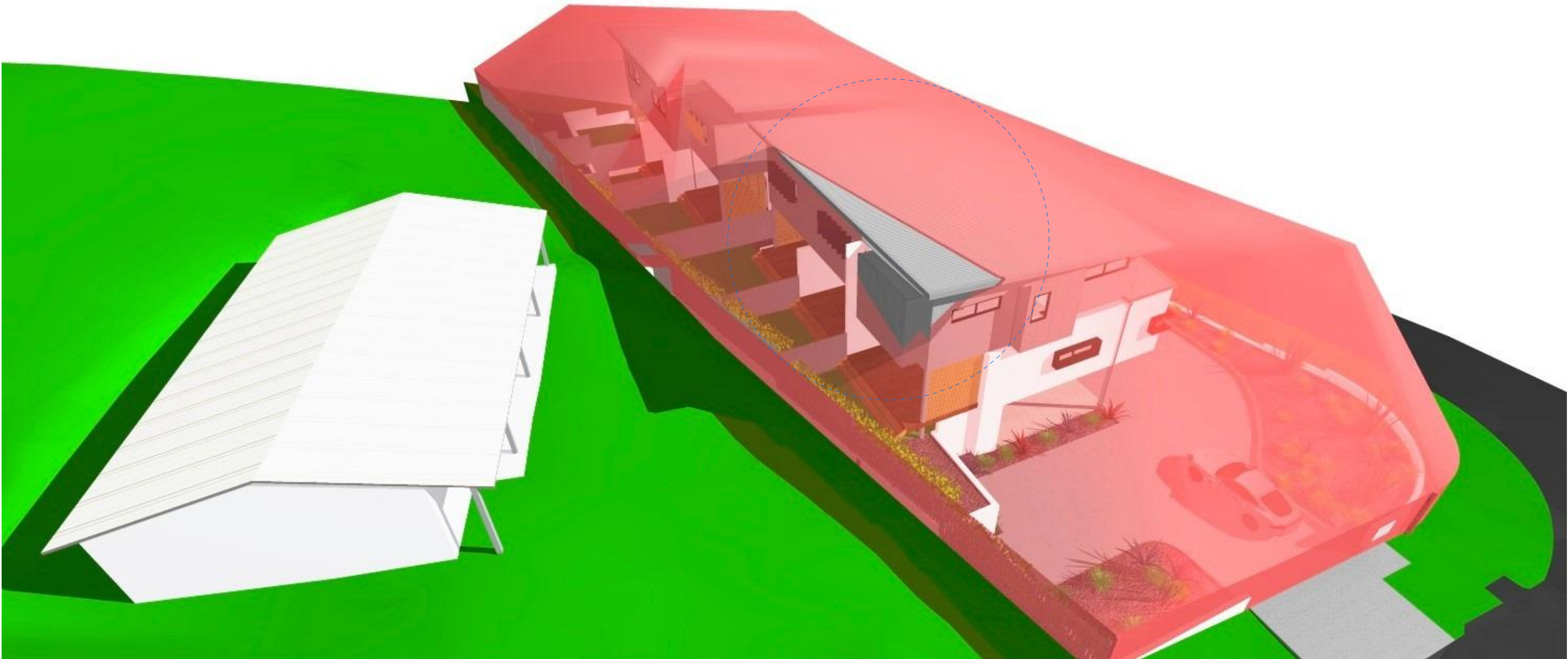


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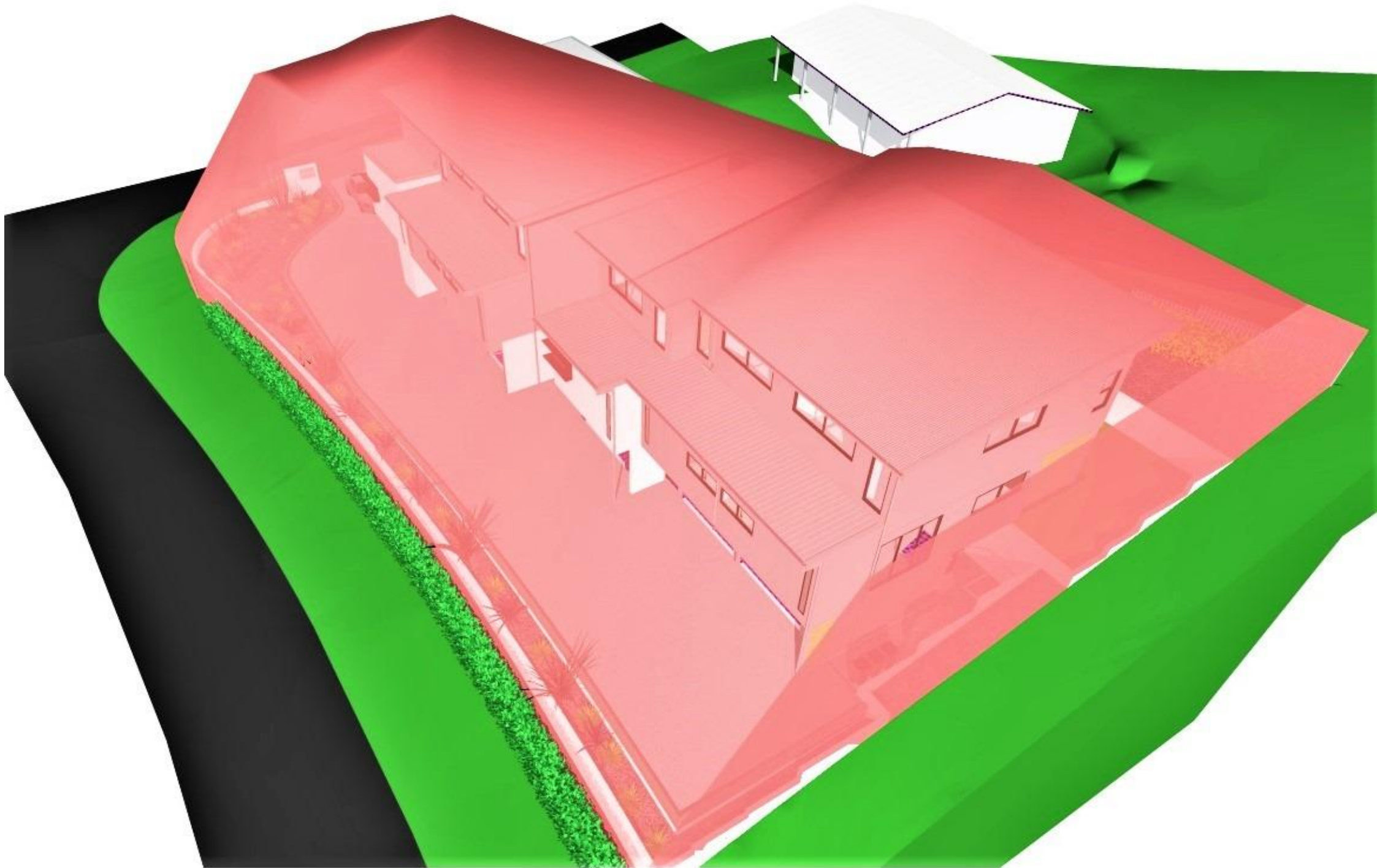
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client	project number	drawing number	drawing print date
Adam Mangleson	19013	18	8/07/2022
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	L	TURNING PATHS
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	





IMAGES SHOWING PROPOSED BUILDING  
CUTTING THROUGH THE BUILDING HEIGHT PLANE



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project	scale	issue	drawing name
Townhouse Development	L		HEIGHT PLANE IMAGES
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	