client:

Adam Mangleson

project:

Townhouse Development

8 Kumbellin Glen, Ocean Shores, NSW

Page no Layout Name

| COVER SHEET |
|------------------------------|
| PERSPECTIVES |
| SHADOW IMAGES |
| SITE ANALYSIS |
| PROPOSED SITE PLAN |
| GROUND FLOOR PLAN |
| GROUND FLOOR DIMENSIONS |
| FIRST FLOOR PLAN |
| FIRST FLOOR DIMENSIONS |
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| SECOND FLOOR DIMENSIONS |
| ROOF PLAN |
| WEST & SOUTH ELEVATIONS |
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| ELEVATIONS 5 & 6 |
| SECTION A & B |
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| GROUND FLOOR LANDSCAPING |
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| COLOURS & MATERIALS |
| ADAPTABLE FLOOR PLANS |
| TURNING PATHS |
| HEIGHT PLANE IMAGES |
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SURFERS PARADISE BANORA POINT

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| 8 Kumbellin Glen, | drawn | checked | |
| Ocean Shores, NSW | SR | Sam Ray | |

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description



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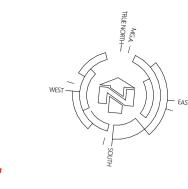
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| project | scale | issue |
| Townhouse Development | 1:100 on A2 | L |
| 8 Kumbellin Glen, | drawn | checked |
| Ocean Shores, NSW | SR | Sam Ray |

| drawing number | drawing print date |
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| | 8/07/2022 |
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| | drawing number |

PERSPECTIVES



D.P.243480 PUBLIC RESERVE

PROPERTY DESCRIPTION

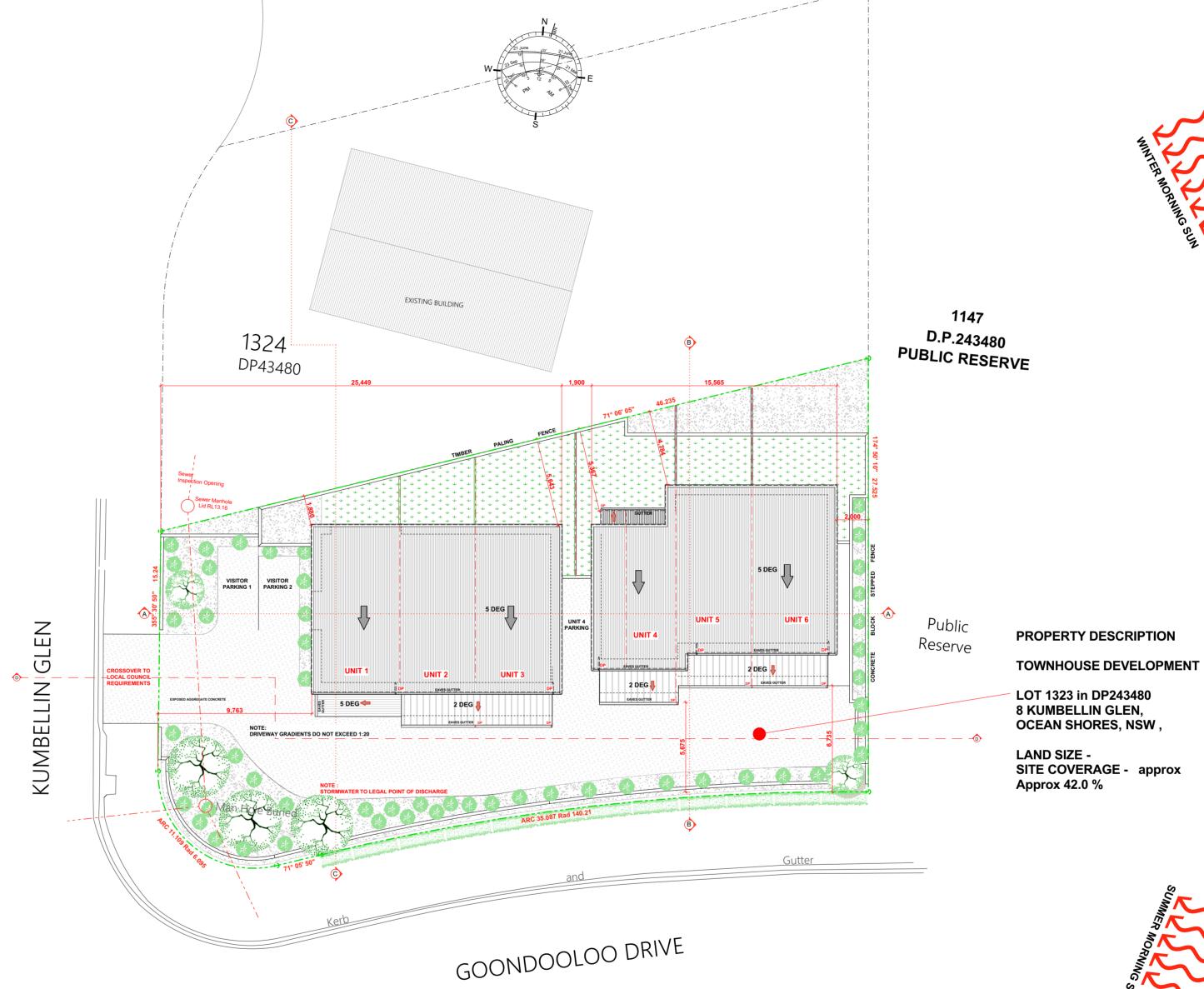
LOT 1323 in DP243480 8 KUMBELLIN GLEN, OCEAN SHORES, NSW,

LAND SIZE -SITE COVERAGE - approx Approx 42.0 %

1075.00 m² 450.00 m²

drawing print date

8/07/2022





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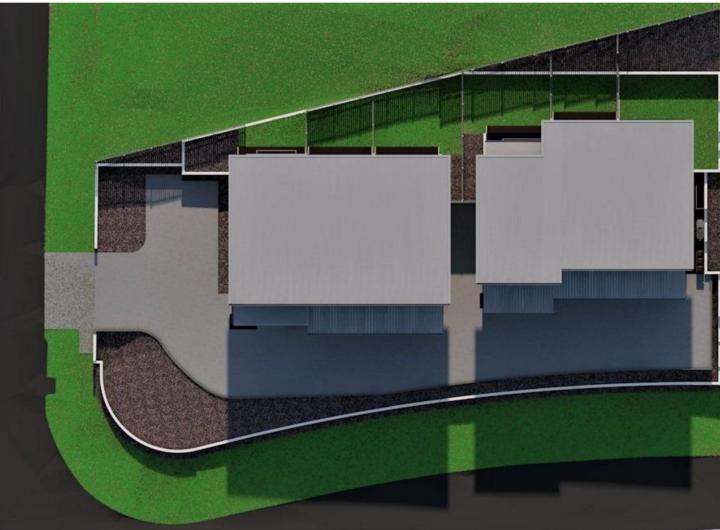
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| 8 Kumbellin Glen, | drawn | checked |
| Ocean Shores, NSW | SR | Sam Ray |

drawing name

drawing number

SITE ANALYSIS







JUNE 21st 9 am JUNE 21st noon JUNE 21st 3 pm



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| Adam Mangleson | | 19013 | | 8/07/2022 |
| project | scale | issue | drawing name | |
| Townhouse Development | 1:100 on A2 | L | | |
| 8 Kumbellin Glen, | drawn | checked | SHADOW IMAGES | |
| Ocean Shores, NSW | SR | Sam Ray | | |

UNIT 1 GFA AREAS:

24.89 m² 36.31 m² 44.78 m² GROUND FLOOR (Concession) -FIRST FLOOR LIVING -SECOND FLOOR LIVING -

UNIT 2-6 GFA AREAS:

GROUND FLOOR (Concession) -25.87 m² FIRST FLOOR LIVING -35.21 m² 39.25 m² SECOND FLOOR LIVING -

 $TOTAL GFA = 453.39 \text{ m}^2$

Floor Space Ratio -0.43:1

SITE NOTES

GROUND SURFACE WATER

FALL GROUND 50mm MIN IN FIRST 1000mm FROM BUILDING

THE HEIGHT OF SLAB ABOVE EXTERNAL FINISHED SURFACE TO BE NOT LESS THAN:

(A) 150mm ABOVE FINISHED GROUND LEVEL
(B) 100mm ABOVE SANDY WELL DRAINED AREAS (C) 50mm ABOVE PAVED OR CONCRETE AREAS WITH FALL AWAYFROM BUILDING

ROOF DRAINAGE

FACE GUTTERS TO HAVE A MIN. FALL OF 1:500 BOX GUTTERS TOM HAVE A MIN. FALL OF 1:100

CATCHMENT AREA

30m² 40m² 50m² 60m² 115mm D GUTTER 125mm D GUTTER 150mm D GUTTER 150mm D GUTTER

ALL DRAINAGE REQUIRMENTS -STORMWATER, WASTE WATER, SEWER ETC -REFER TO HYDRAULIC ENGINEERS DETAILS & SPECIFICATIONS.

DOWNPIPES

MIN. SIZE 90mm DIAMETER

MAX. SPACING OF DOWNPIPES IS 12m

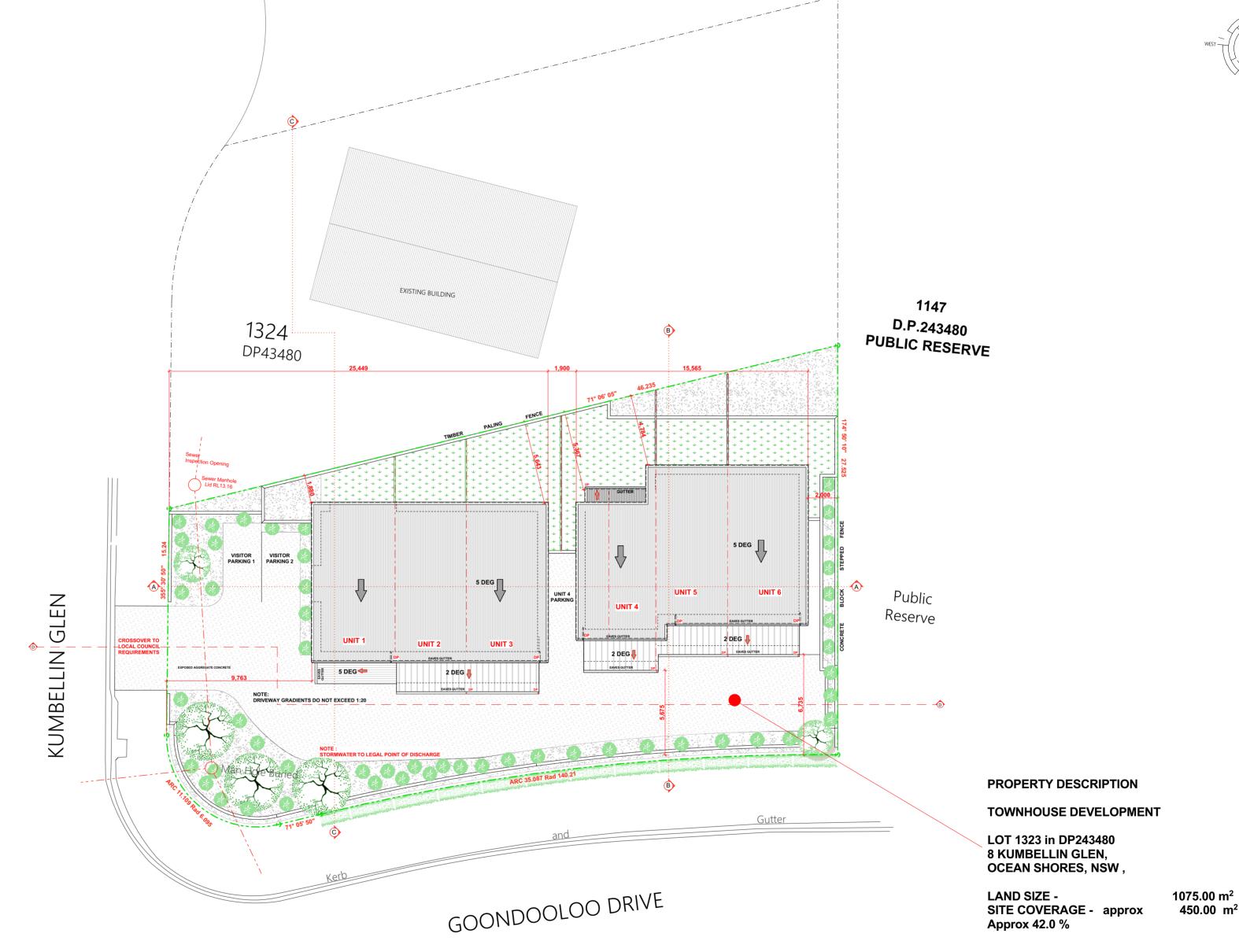
DOWNPIPES TO BE FIXED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS & IF MORE THAN 1.2m FROM THE VALLEY PROVISION FOR AN OVERFLOW IS

STORMWATER

STORMWATER LINES FOR 2 OR MORE DOWNPIPES

STORMWATER LINES SHALL BE TO A MIN. FALL OF 1:60 & WHERE POSSIBLE PLACED AS SHOWN.

100mm COVER TO STORMWATER DRAINAGE.





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| Ocean Shores, NSW | SR | Sam Ray | |

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| drawing name | | |
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drawing number

drawing print date

60mm RENDERED FOAM CLADDING

INTERNAL LINING

PLASTERBOARD WITH STANDARD CORNICE

ROOFING COLORBOND CUSTOM ORB @ 5 DEGS & KLIPLOK ROOF SHEETING @ 2 DEGS **COLORBOND GUTTERS & FASCIA** PAINTED PVC DOWNPIPES

POWDERCOATED ALUMINIUM WINDOWS & DOORS HEKA WINDOW HOODS TO SELECTED WINDOWS

TIMBER FLOORING **CERAMIC TILES TO WET AREAS HWD TIMBER STAIR TREADS** HWD TIMBER DECKING WITH TREATED TIMBER STEPS

TREATED TIMBER POSTS & FENCE PALINGS

STORY

REFER TO ENGINEERS DETAILS REFER TO UNIT SPECIFICATIONS FOR ALL PRODUCT SELECTIONS REFER TO UNIT INTERIOR DRAWINGS

WATER TANKS - 1500 LITRE POLY + PUMP REVERSE CYCLE HEATING & COOLING 250 LITRE ELECTRIC HOT WATER SYSTEM **3kW SOLAR SYSTEM TO EACH UNIT**

the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

REFER TO BASIX REPORT

REFER TO natHERS REPORT

BASIX DETAILS The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that

The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in

central system to the dwelling, so that the dwelling's hot water is supplied by that central system

This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.

The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.

The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.

Where there is an in-slab heating or cooling system, the applicant must:

(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or

(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical

NOTE : REFER TO PAGE 16 UNIT 1 HAS BEEN DESIGNED FOR ADAPTABLE HOUSING **UNIT 2 AREAS:** GROUND FLOOR -AS PER AUSTRALIAN STANDARDS AS 4299 - 1995 FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING -UNIT 1 AREAS: 47.00 m² TOTAL = 147.77 m²

44.21 m² 42.63 m² 15.81 m² 45.12 m²

GROUND FLOOR -FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING -44.28 m² 16.42 m² 51.30 m²

 $TOTAL = 159.00 \text{ m}^2$

SERVICES **SERVICES** SERVICES 2.2 x 4.9 2.2 x 4.9

VISITOR VISITOR PARKING 1 PARKING 2 **UNIT 1** UNIT 2 UNIT 3 (A)

RL-11.40 RL-11.60 CARPORT **GARAGE** RL-12,05 6.0 x 3.8 6.7 x 4.6 2500 CEILING

DRIVEWAY EXPOSED AGGREGATE CONCRETE

RL-11.35 RL-11.45 RL-11.45

DRIVEWAY GRADIENTS DO NOT EXCEED 1:20

C

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BANORA POINT

SURFERS PARADISE

C 06/08/19 DA Drawing Revision D 16/08/19 Updated DA Drawings 03/10/19 DA Drawing Revisions F 17/10/19 Drawing Additions

G 25/10/19 Basix notes added AP J 20/10/20 MOVING UNITS + REVISIONS K 19/04/21 Redesign to 6 Units

description

The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table

"Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as

44.21 m² 42.63 m² 15.81 m² 45.12 m²

UNIT 3 AREAS:

GROUND FLOOR -FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING -

RL-11.60

GARAGE

6.7 x 4.6

RL-11.55

TOTAL = 147.77 m²

The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the

The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.

UNIT 4 AREAS:

TOTAL = 147.77 m²

GROUND FLOOR -FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING -

UNIT 5 AREAS:

GROUND FLOOR -FIRST FLOOR LIVING -

TOTAL = 147.77 m²

45.09 m² 42.92 m² 15.81 m² 45.12 m²

SERVICES

2.2 x 4.9

UNIT 4

RL-11.60

GARAGE 6.7 x 4.6

UNIT 4

PARKING

RL-11.55

AC UNIT

ALFRESCO -SECOND FLOOR LIVING -

SERVICES

UNIT 5

RL-11.60

GARAGE

6.7 x 4.6

RL-11.55

AC UNIT

44.21 m² 42.92 m² 15.81 m² 45.12 m²

project number client 19013 **Adam Mangleson** scale project issue **Townhouse Development** 1:100 on A2 checked drawn 8 Kumbellin Glen, Ocean Shores, NSW SR Sam Ray

В

drawing number drawing print date 8/07/2022 02 drawing name

A

REVISED DA DRAWINGS

UNIT 6 AREAS:

GROUND FLOOR -FIRST FLOOR LIVING -

TOTAL = 151.49 m²

ALFRESCO -SECOND FLOOR LIVING -

150 x 150 POST ■

UNIT 6

RL-11.60

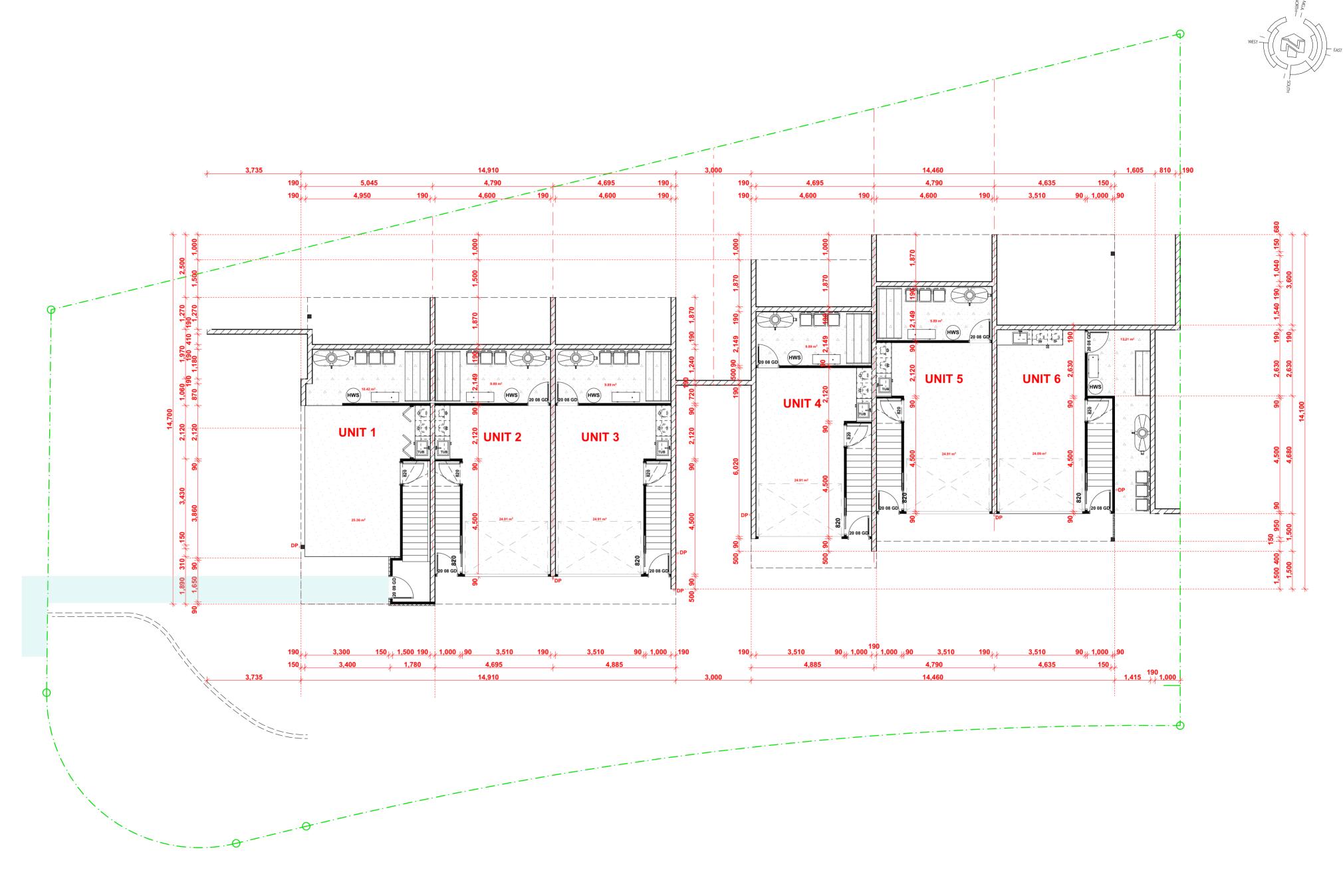
GARAGE

6.7 x 4.6

47.93 m² 42.63 m² 15.81 m² 45.12 m²

GROUND FLOOR PLAN

RL-11.30



STORY

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| Ocean Shores, NSW | SR | Sam Ray |

drawing number drawing print date

03 8/07/2022

drawing name

& RETAINING WALLS 90mm TREATED PINE FRAMING WEATHERBOARD CLADDING FC SHEETING WITH COVER BATTENS 60mm RENDERED FOAM CLADDING

INTERNAL LINING PLASTERBOARD WITH STANDARD CORNICE

ROOFING COLORBOND CUSTOM ORB @ 5 DEGS & KLIPLOK ROOF SHEETING @ 2 DEGS **COLORBOND GUTTERS & FASCIA** PAINTED PVC DOWNPIPES

POWDERCOATED ALUMINIUM WINDOWS & DOORS HEKA WINDOW HOODS TO SELECTED WINDOWS

TIMBER FLOORING **CERAMIC TILES TO WET AREAS HWD TIMBER STAIR TREADS** HWD TIMBER DECKING WITH TREATED TIMBER STEPS

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(A)

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SURFERS PARADISE

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STORY

REFER TO ENGINEERS DETAILS

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WATER TANKS - 1500 LITRE POLY + PUMP REVERSE CYCLE HEATING & COOLING 250 LITRE ELECTRIC HOT WATER SYSTEM **3kW SOLAR SYSTEM TO EACH UNIT**

The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in **BASIX & CONSTRUCTION NOTES** the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

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REFER TO natHERS REPORT

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> **UNIT 2 AREAS:** GROUND FLOOR -UNIT 1 AREAS:

FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING -

44.21 m² 42.63 m² 15.81 m² 45.12 m² TOTAL = 147.77 m²

TOTAL = 147.77 m²

UNIT 3 AREAS:

GROUND FLOOR -FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING -44.21 m² 42.63 m² 15.81 m² 45.12 m²

47.00 m² 44.28 m² 16.42 m² 51.30 m²

GROUND FLOOR -FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING -

TOTAL = 159.00 m^2

AS PER AUSTRALIAN STANDARDS AS 4299 - 1995

NOTE : REFER TO PAGE 16 UNIT 1 HAS BEEN DESIGNED FOR ADAPTABLE HOUSING

RL-13.72

POS

ALFRESCO

21 46 STACKER

LOUNGE

UNIT

RL-14.26

DINING

2.5 x 3.6

KITCHEN

C

A 14/05/19

C 06/08/19

D 16/08/19

F 17/10/19

03/10/19

Preliminary Layout

DA Drawing Revisions

Updated DA Drawings

DA Drawing Revisions

Drawing Additions

ALFRESCO

3.3 x 4.6

21 46 STACKER

LOUNGE

3.3 x 4.6

RL-14.26

DINING

2.5 x 3.6

KITCHEN

description

AP

26/08/20 Adaptable Floorplans Added + Path

J 20/10/20 MOVING UNITS + REVISIONS

G 25/10/19 Basix notes added

K 19/04/21 Redesign to 6 Units

POS

RL-13.7

POS

ALFRESCO

3.3 x 4.6

21 46 STACKER

LOUNGE

3.3 x 4.6

UNIT

PDR

description

DINING

2.5 x 3.6

KITCHEN

RL-13.72

UNIT 4 PARKING

The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table

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UNIT 4 AREAS:

TOTAL = 147.77 m²

GROUND FLOOR -FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING -

UNIT 5 AREAS:

GROUND FLOOR -FIRST FLOOR LIVING -

TOTAL = 147.77 m²

45.09 m² 42.92 m² 15.81 m² 45.12 m²

POS

ALFRESCO 3.3 x 4.6

21 46 STACKER

LOUNGE

3.3 x 4.6

UNIT 4

RL-14.26

DINING

2.5 x 3.6

KITCHEN 3.1 x 2.7

client

project

Adam Mangleson

8 Kumbellin Glen,

Ocean Shores, NSW

Townhouse Development

ALFRESCO -SECOND FLOOR LIVING -

POS

ALFRESCO

3.3 x 4.6

21 46 STACKER

LOUNGE

3.3 x 4.6

UNIT 5

В

scale

drawn

SR

1:100 on A2

RL-14.26

DINING

KITCHEN

project number

19013

checked

Sam Ray

drawing name

FIRST FLOOR PLAN

44.21 m² 42.92 m² 15.81 m² 45.12 m²

RL-13.72

REVISED DA DRAWINGS

(A)

drawing number

04

drawing print date

8/07/2022

UNIT 6 AREAS:

GROUND FLOOR -FIRST FLOOR LIVING -

TOTAL = 151.49 m²

POS

ALFRESCO

3.3 x 4.6

21 46 STACKER

LOUNGE

UNIT 6

RL-14.26

DINING

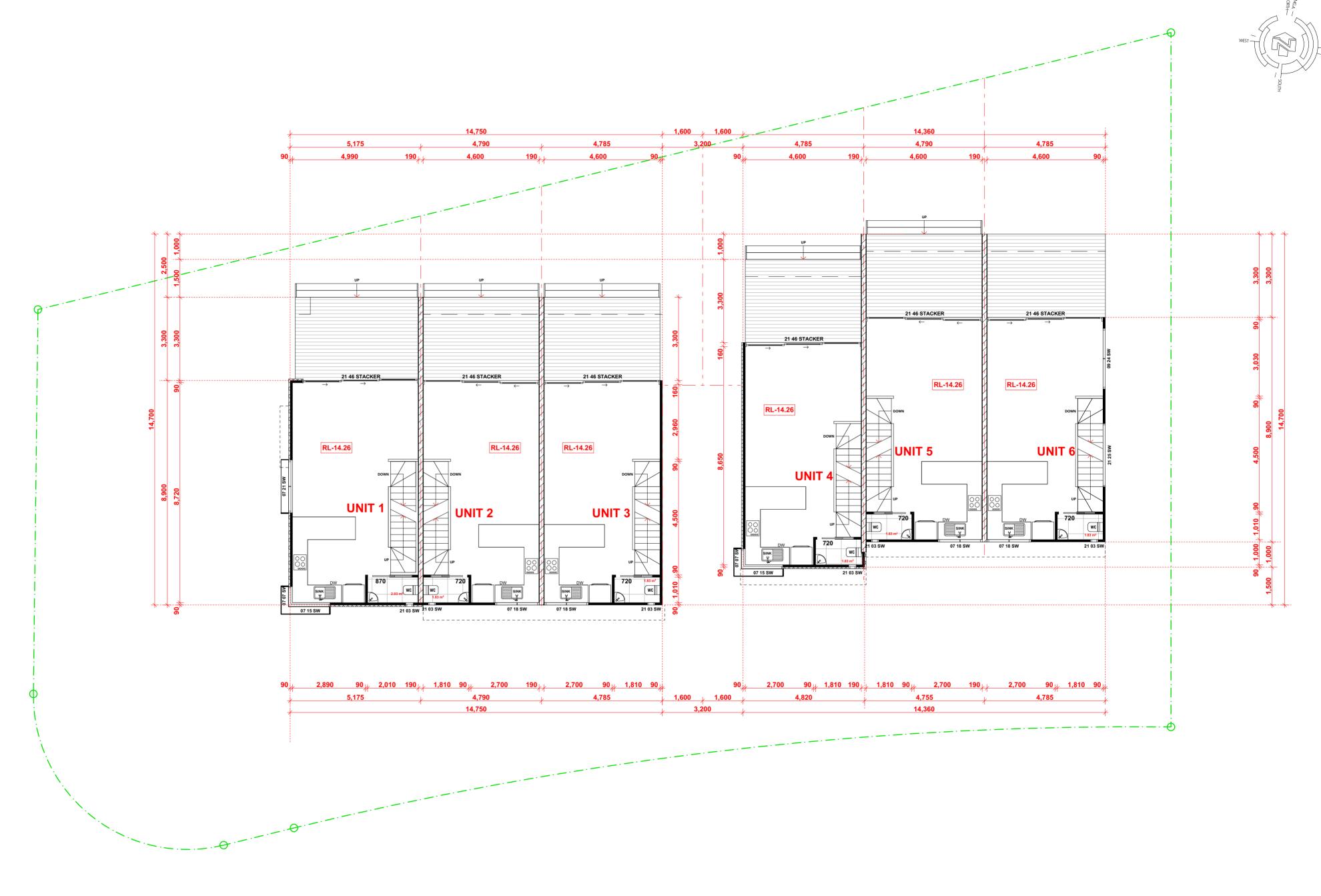
 2.5×3.6

KITCHEN

RL-14.00

ALFRESCO -SECOND FLOOR LIVING -

47.93 m² 42.63 m² 15.81 m² 45.12 m²





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| rev. | date | description | initi. |
|------|----------|----------------------|--------|
| Α | 14/05/19 | Preliminary Layout | SR |
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| С | 06/08/19 | DA Drawing Revisions | AP |
| D | 16/08/19 | Updated DA Drawings | AP |
| Е | 03/10/19 | DA Drawing Revisions | AP |
| F | 17/10/19 | Drawing Additions | AP |

| rev. | date | description | ınıtı. |
|------|----------|-----------------------------------|--------|
| G | 25/10/19 | Basix notes added | AP |
| Н | 11/11/19 | DA Drawing Revisions | SR |
| Т | 26/08/20 | Adaptable Floorplans Added + Path | AP |
| J | 20/10/20 | MOVING UNITS + REVISIONS | AP |
| K | 19/04/21 | Redesign to 6 Units | SR A |
| L | 07/07/22 | DA Drawing Revisions | SR A |

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| client | project number | |
|-----------------------|----------------|---------|
| Adam Mangleson | | 19013 |
| project | scale | issue |
| Townhouse Development | 1:100 on A2 | L |
| 8 Kumbellin Glen, | drawn | checked |
| Ocean Shores, NSW | SR | Sam Ray |

| | g | 5. 2. 3. p |
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| | 05 | 8/07/2022 |
| drawing name | | |
| | | |

& RETAINING WALLS

EXTERIOR WALLS
190mm CONCRETE BLOCK WALLS 90mm TREATED PINE FRAMING WEATHERBOARD CLADDING FC SHEETING WITH COVER BATTENS 60mm RENDERED FOAM CLADDING

INTERNAL LINING

PLASTERBOARD WITH STANDARD CORNICE

ROOFING COLORBOND CUSTOM ORB @ 5 DEGS & KLIPLOK ROOF SHEETING @ 2 DEGS **COLORBOND GUTTERS & FASCIA** PAINTED PVC DOWNPIPES

POWDERCOATED ALUMINIUM WINDOWS & DOORS HEKA WINDOW HOODS TO SELECTED WINDOWS

TIMBER FLOORING **CERAMIC TILES TO WET AREAS HWD TIMBER STAIR TREADS** HWD TIMBER DECKING WITH TREATED TIMBER STEPS

TREATED TIMBER POSTS & FENCE PALINGS

250 LITRE ELECTRIC HOT WATER SYSTEM **3kW SOLAR SYSTEM TO EACH UNIT**

STORY

REFER TO ENGINEERS DETAILS REFER TO UNIT SPECIFICATIONS FOR ALL PRODUCT SELECTIONS

A

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BANORA POINT

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REFER TO UNIT INTERIOR DRAWINGS WATER TANKS - 1500 LITRE POLY + PUMP

REVERSE CYCLE HEATING & COOLING

the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies **EXPOSED AGG CONCRETE DRIVEWAY**

REFER TO BASIX REPORT

REFER TO natHERS REPORT

any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in

BASIX DETAILS
The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.

This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.

The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.

The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.

Where there is an in-slab heating or cooling system, the applicant must:

(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or

(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.

UNIT 2 AREAS: GROUND FLOOR -UNIT 1 AREAS:

GROUND FLOOR -FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING -

44.21 m² 42.63 m² 15.81 m² 45.12 m² TOTAL = 147.77 m²

UNIT 3 AREAS:

44.21 m² 42.63 m² 15.81 m² 45.12 m²

GROUND FLOOR -FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING -44.28 m² 16.42 m² 51.30 m² $TOTAL = 159.00 \text{ m}^2$

BATH

BED 2

3.3 x 3.6

5 DEG 💝

C

A 14/05/19

C 06/08/19

D 16/08/19

03/10/19

F 17/10/19

Preliminary Layout

DA Drawing Revisions

Updated DA Drawings

DA Drawing Revisions

Drawing Additions

TOTAL = 147.77 m²

FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING -

AS PER AUSTRALIAN STANDARDS AS 4299 - 1995

NOTE : REFER TO PAGE 16 UNIT 1 HAS BEEN DESIGNED FOR ADAPTABLE HOUSING

MASTER

3.5 x 4.8

RL-17.17

/ 09/27 SW /

MASTER

 3.4×4.0

RL-17.17

BED 2

3.6 x 3.5

09 27 SW

description

AP

G 25/10/19 Basix notes added

K 19/04/21 Redesign to 6 Units

J 20/10/20 MOVING UNITS + REVISIONS

MASTER

 3.4×4.0

RL-17.17

BATH

_BED 2

3.6 x 3.5

09 27 SW

UNIT 4

PARKING

The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table

"Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as

The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the

The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.

UNIT 4 AREAS:

TOTAL = 147.77 m²

GROUND FLOOR -FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING -

UNIT 5 AREAS:

GROUND FLOOR -FIRST FLOOR LIVING -

TOTAL = 147.77 m²

45.09 m² 42.92 m² 15.81 m² 45.12 m²

MASTER 3.4 x 4.0 RL-17.17

BATH

BED 2 3.6 x 3.5

client

project

Adam Mangleson

8 Kumbellin Glen,

Ocean Shores, NSW

Townhouse Development

description

ALFRESCO -SECOND FLOOR LIVING -

09 27 SW

MASTER

3.4 x 4.0

RL-17.17

BATH

BED 2

3.6 x 3.5

B

scale

drawn

SR

1:100 on A2

| 2 DEG

project number

19013

checked

Sam Ray

drawing name

SECOND FLOOR PLAN

44.21 m² 42.92 m² 15.81 m² 45.12 m²

REVISED DA DRAWINGS

(A)

drawing number

06

drawing print date

8/07/2022

UNIT 6 AREAS:

GROUND FLOOR -FIRST FLOOR LIVING -

TOTAL = 151.49 m²

09 27 SW

MASTER

 3.4×4.0

RL-17.17

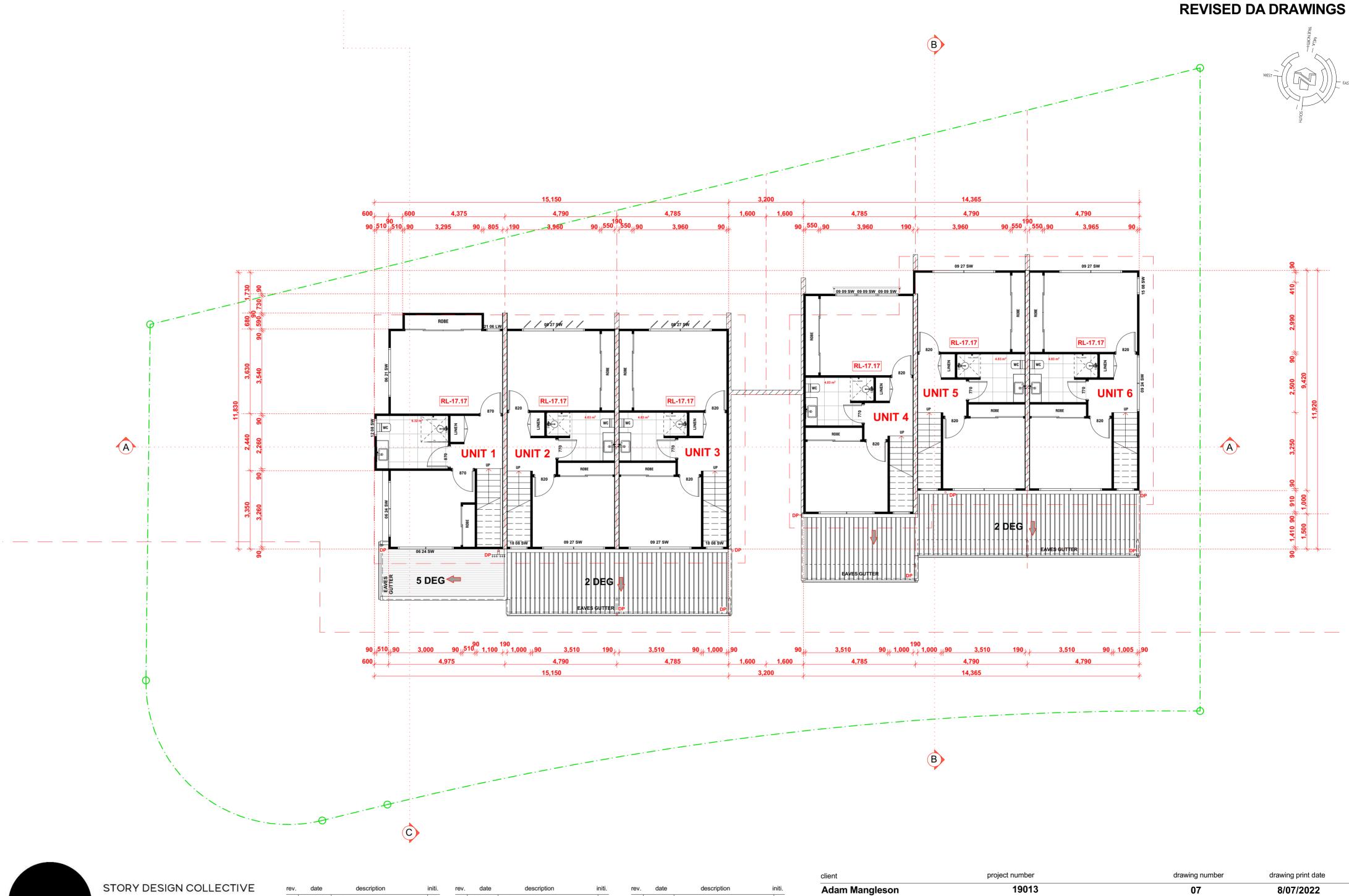
BATH

BED 2

3.6 x 3.5

ALFRESCO -SECOND FLOOR LIVING -

47.93 m² 42.63 m² 15.81 m² 45.12 m²



STORY

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| С | 06/08/19 | DA Drawing Revisions | AP |
| D | 16/08/19 | Updated DA Drawings | AP |
| Е | 03/10/19 | DA Drawing Revisions | AP |
| F | 17/10/10 | Drawing Additions | ΛD |

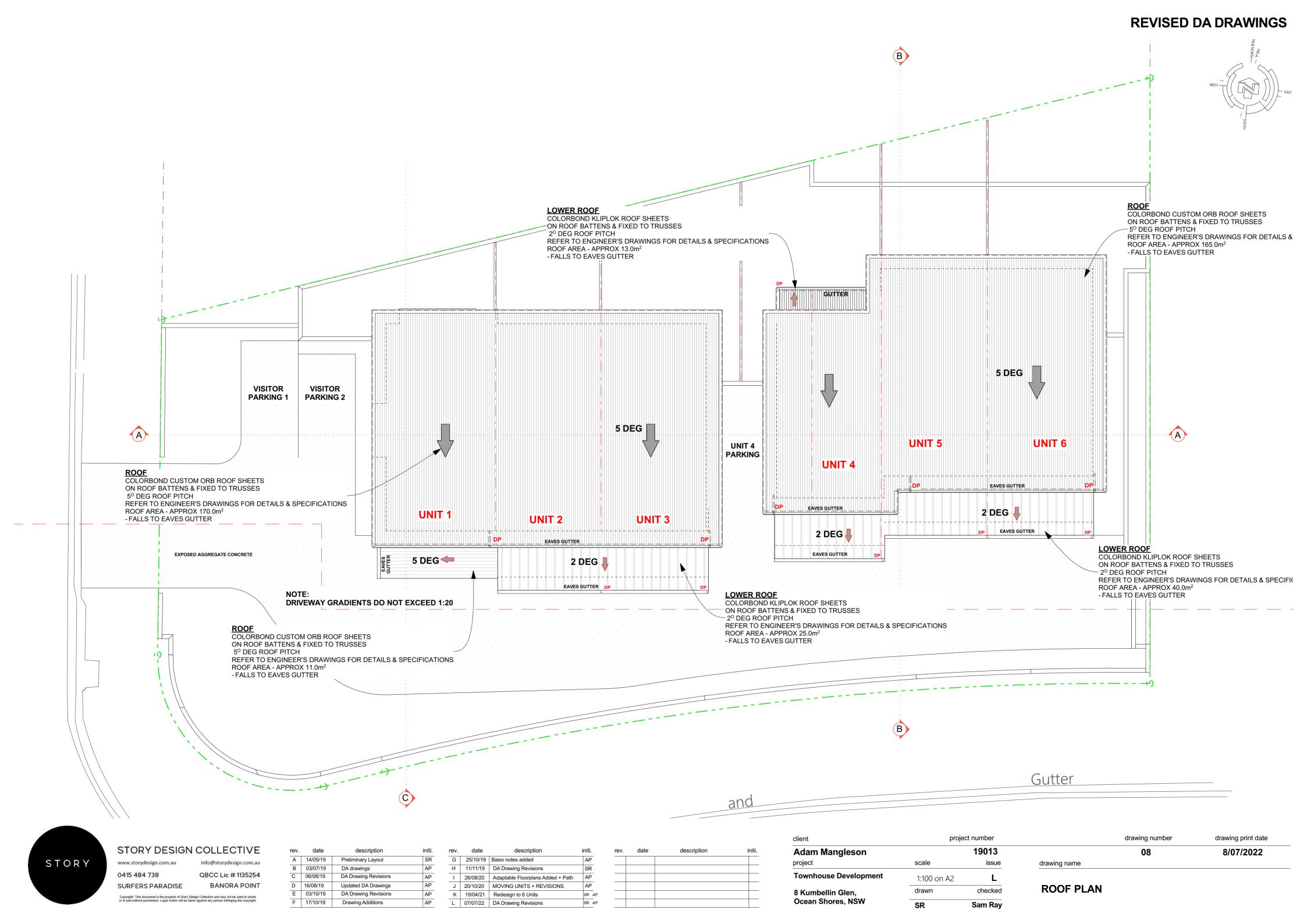
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| G | 25/10/19 | Basix notes added | AP | - |
| Н | 11/11/19 | DA Drawing Revisions | SR | - |
| Ι | 26/08/20 | Adaptable Floorplans Added + Path | AP | _ |
| J | 20/10/20 | MOVING UNITS + REVISIONS | AP | |
| K | 19/04/21 | Redesign to 6 Units | SR | AP |
| $\overline{}$ | 07/07/22 | DA Drawing Revisions | SR | AP |

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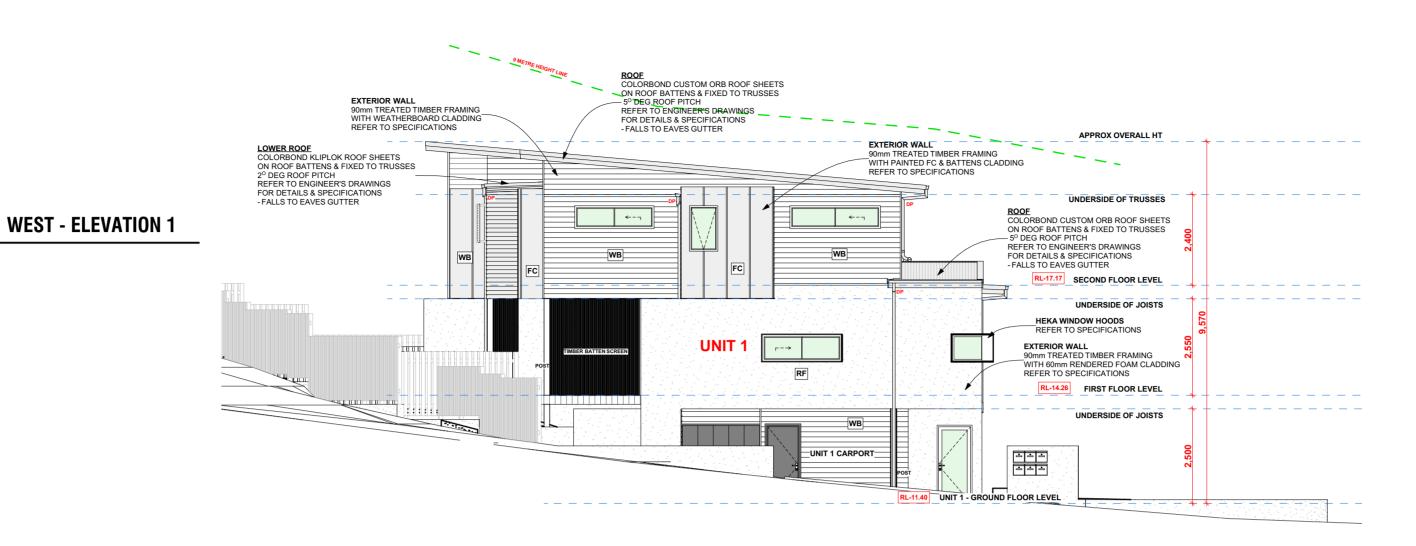
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|-------------|-------------------------|
| | 19013 |
| scale | issue |
| 1:100 on A2 | L |
| drawn | checked |
| SR | Sam Ray |
| | scale 1:100 on A2 drawn |

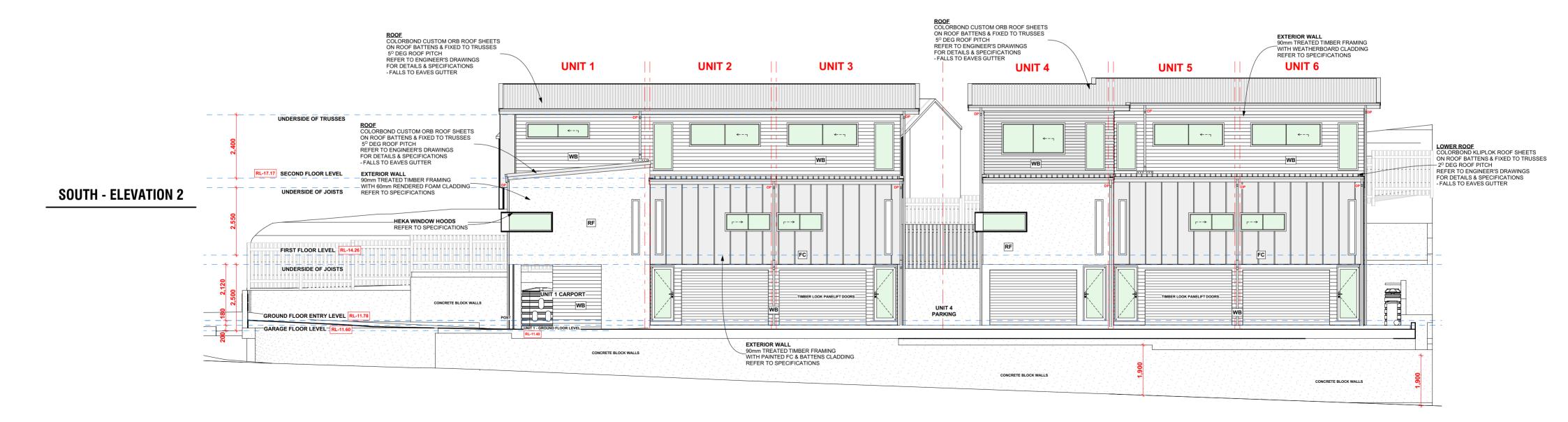
drawing name

SECOND FLOOR DIMENSIONS



NOTE
FOR ALL STRUCTURAL SIZING,
FOUNDATIONS, SLABS,
FLOOR SYSTEMS, ROOF SYSTEMS,
TIEDOWN AND BRACING
REFER TO ENGINEERS DRAWINGS.







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| С | 06/08/19 | DA Drawing Revisions | A |
| D | 16/08/19 | Updated DA Drawings | Α |
| E | 03/10/19 | DA Drawing Revisions | Α |
| F | 17/10/19 | Drawing Additions | А |

| rev. | date | description | initi. | |
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| G | 25/10/19 | Basix notes added | AP | |
| Н | 11/11/19 | DA Drawing Revisions | SR | |
| Т | 26/08/20 | Adaptable Floorplans Added + Path | AP | |
| J | 20/10/20 | MOVING UNITS + REVISIONS | AP | |
| K | 19/04/21 | Redesign to 6 Units | SR AP | |
| L | 07/07/22 | DA Drawing Revisions | SR AP | |

description

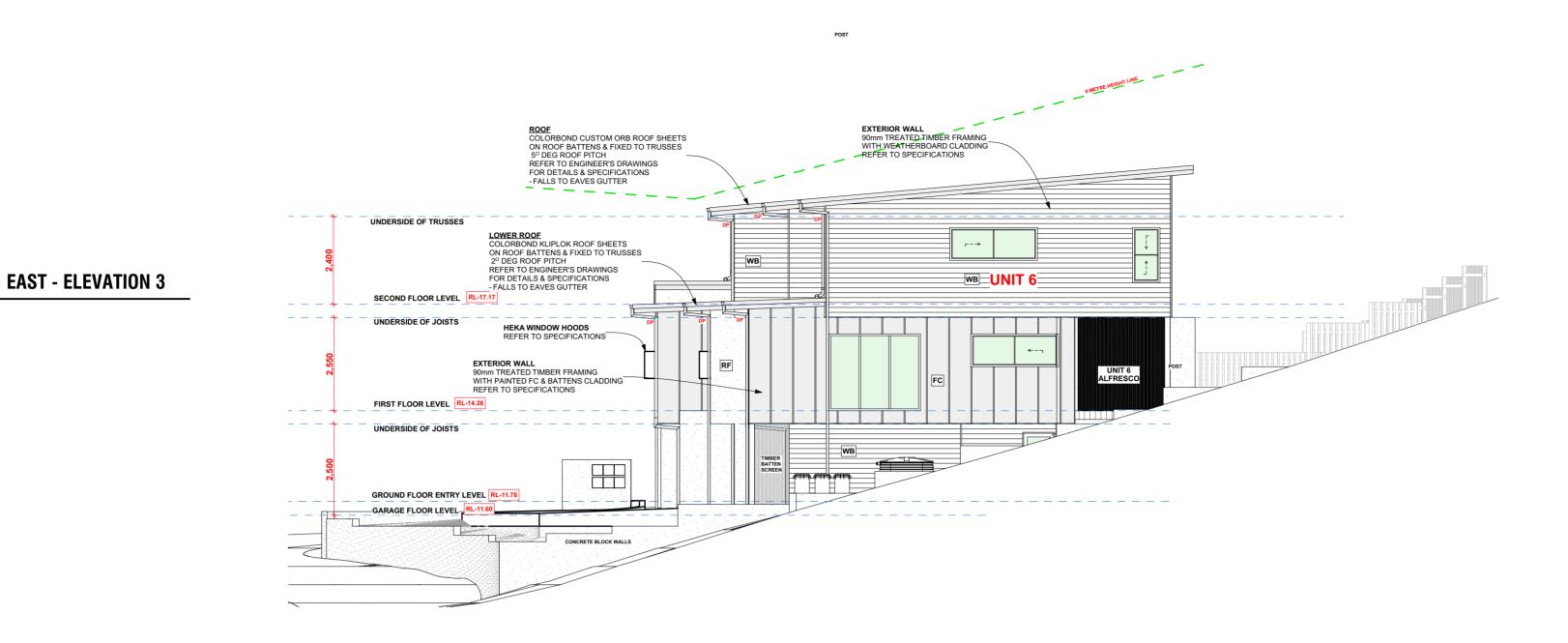
| client | project number | | |
|-----------------------|----------------|---------|--|
| Adam Mangleson | | 19013 | |
| project | scale | issue | |
| Townhouse Development | 1:100 on A2 | L | |
| 8 Kumbellin Glen, | drawn | checked | |
| Ocean Shores, NSW | SR | Sam Ray | |

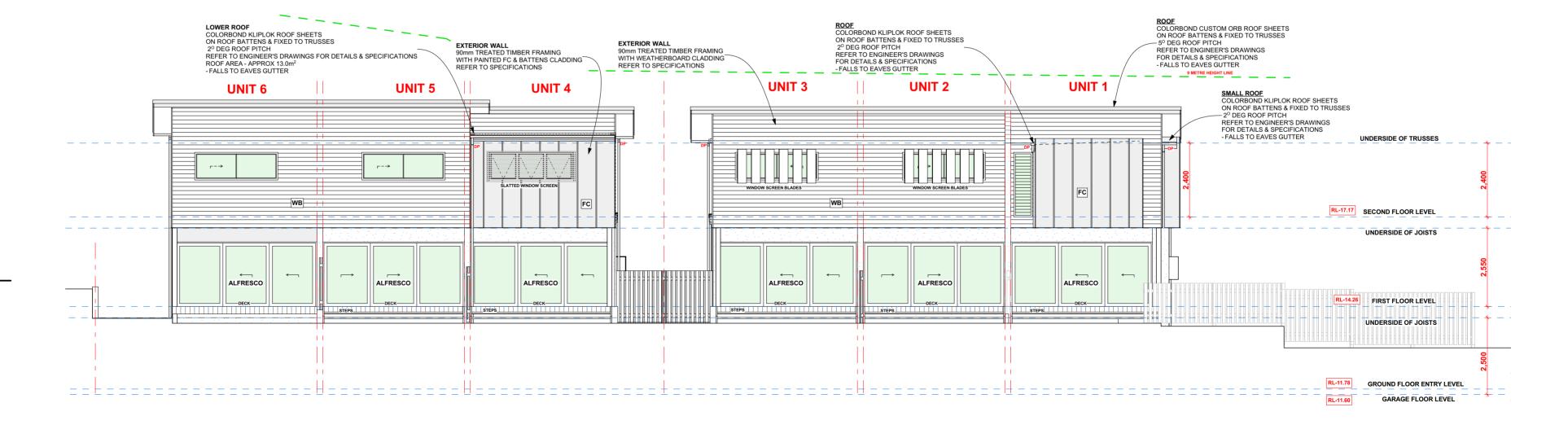
drawing name 8/07/2022

drawing print date

drawing number

WEST & SOUTH ELEVATIONS





NORTH - ELEVATION 4

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| Е | 03/10/19 | DA Drawing Revisions | AP | K | 19/04/21 | Redesign to |
| F | 17/10/19 | Drawing Additions | AP | L | 07/07/22 | DA Drawing |
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| J | 20/10/20 | MOVING UNITS + REVISIONS | AP | | | | | |
| K | 19/04/21 | Redesign to 6 Units | SR | AP | | | | |
| L | 07/07/22 | DA Drawing Revisions | SR | AP | | | | |
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| client | project number | | |
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| Adam Mangleson | | 19013 | |
| project | scale | issue | |
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| 8 Kumbellin Glen, | drawn | checked | |
| Ocean Shores, NSW | SR | Sam Ray | |
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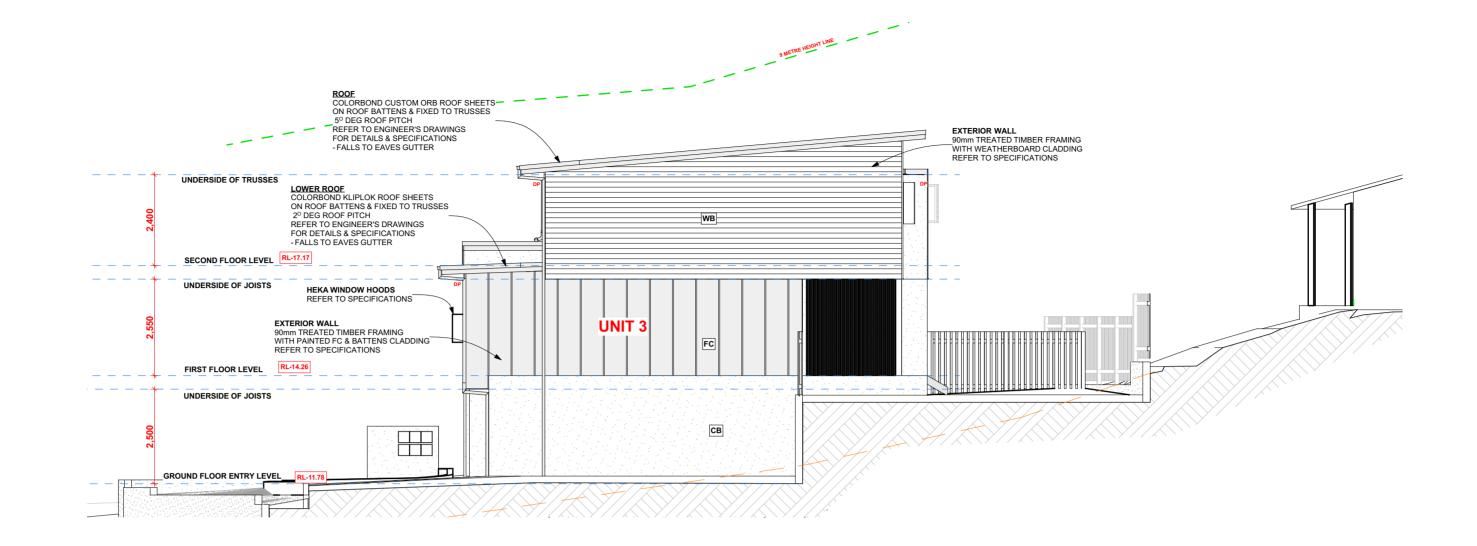
drawing name **EAST & NORTH ELEVATIONS**

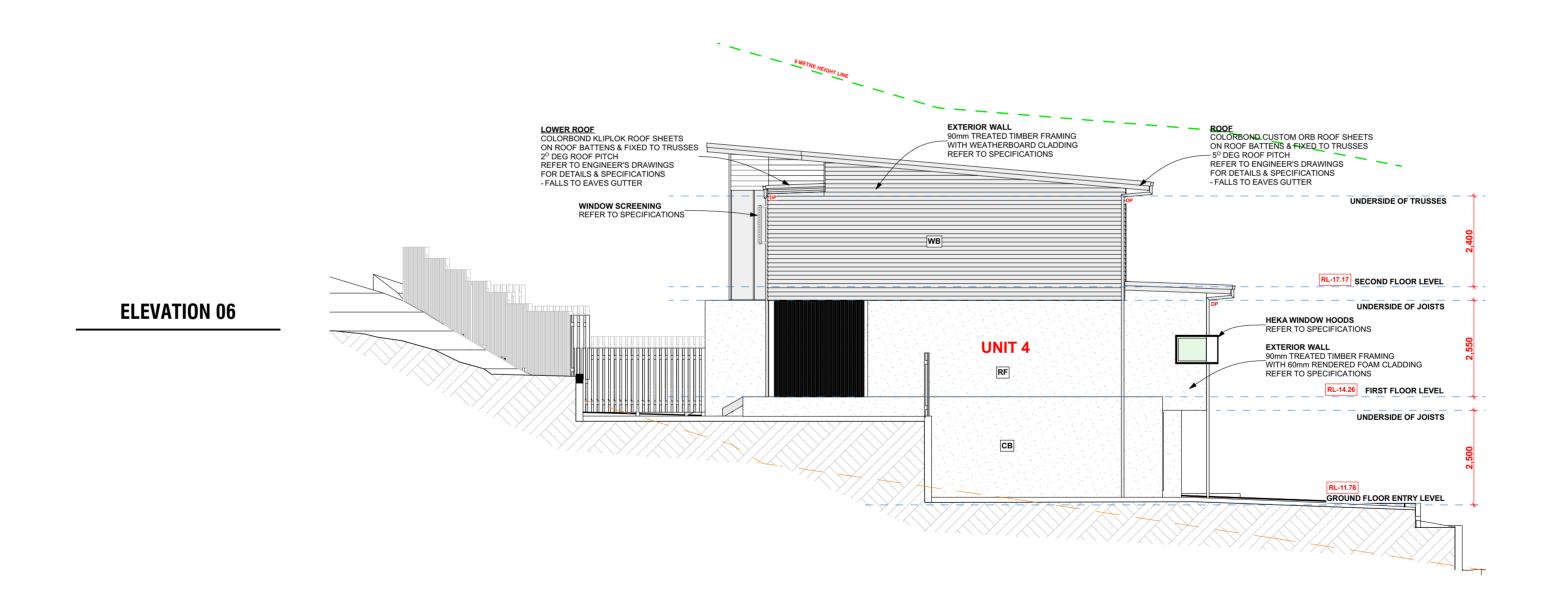
drawing number

10

drawing print date

8/07/2022







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ELEVATION 05

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| F | 17/10/19 | Drawing Additions | ΔP |

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| G | 25/10/19 | Basix notes added | AP | |
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| K | 19/04/21 | Redesign to 6 Units | SR AP | |
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| Adam Mangleson | | 19013 issue | | | |
| project | scale | | | | |
| Townhouse Development | 1:100 on A2 | L | | | |
| 8 Kumbellin Glen, | drawn | checked | | | |
| Ocean Shores, NSW | SR | Sam Ray | | | |
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drawing name

11

drawing number

drawing print date

8/07/2022

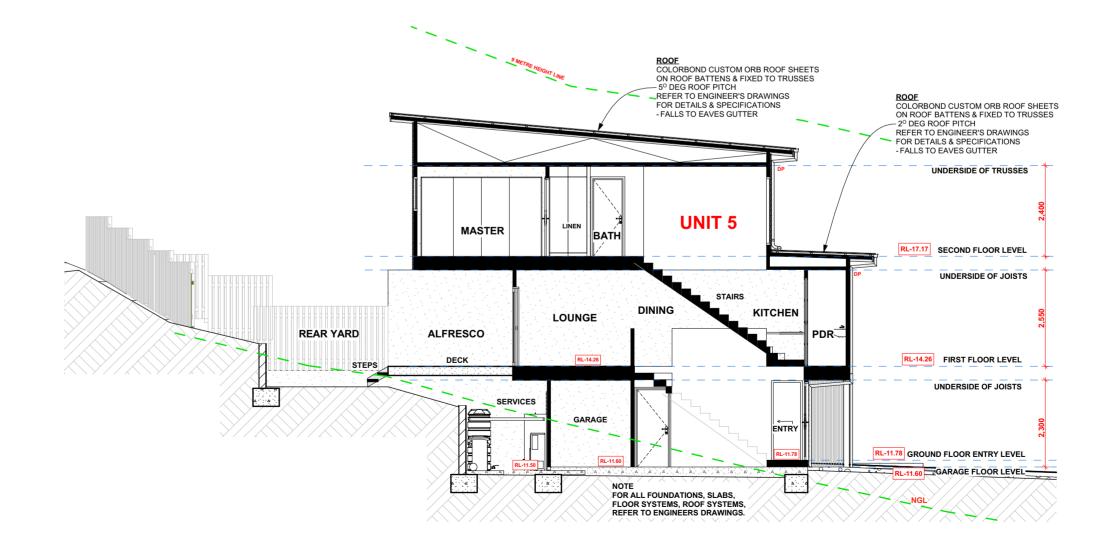
SECTION A

 $_$ $_$ UNIT 5 $_{-}$ - + - UNIT 6 $|+ - - - UNIT 2 - - \bot| - - UNIT 3$ **UNIT 4** UNDERSIDE OF TRUSSES **BATH** BATH **BATH** BED 2 BED 2 SECOND FLOOR LEVEL UNDERSIDE OF JOISTS LOUNGE DINING DINING DINING LOUNGE LOUNGE FIRST FLOOR LEVEL UNDERSIDE OF JOISTS_

GARAGE

CAR SPACE

SECTION B





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| Е | 03/10/19 | DA Drawing Revisions | AP |
| F | 17/10/19 | Drawing Additions | ΔΡ |

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| Κ | 19/04/21 | Redesign to 6 Units | SR AP | | | | |
| L | 07/07/22 | DA Drawing Revisions | SR AP | | | | |

CARPORT

GARAGE

-GARAGE FLOOR LEVEL

| client | project number | | |
|-----------------------|----------------|---------|--|
| Adam Mangleson | | 19013 | |
| project | scale | issue | |
| Townhouse Development | 1:100 on A2 | L | |
| 8 Kumbellin Glen, | drawn | checked | |
| Ocean Shores, NSW | SR | Sam Ray | |

GARAGE

GARAGE

GARAGE FLOOR LEVEL

GARAGE

SECTION A & B

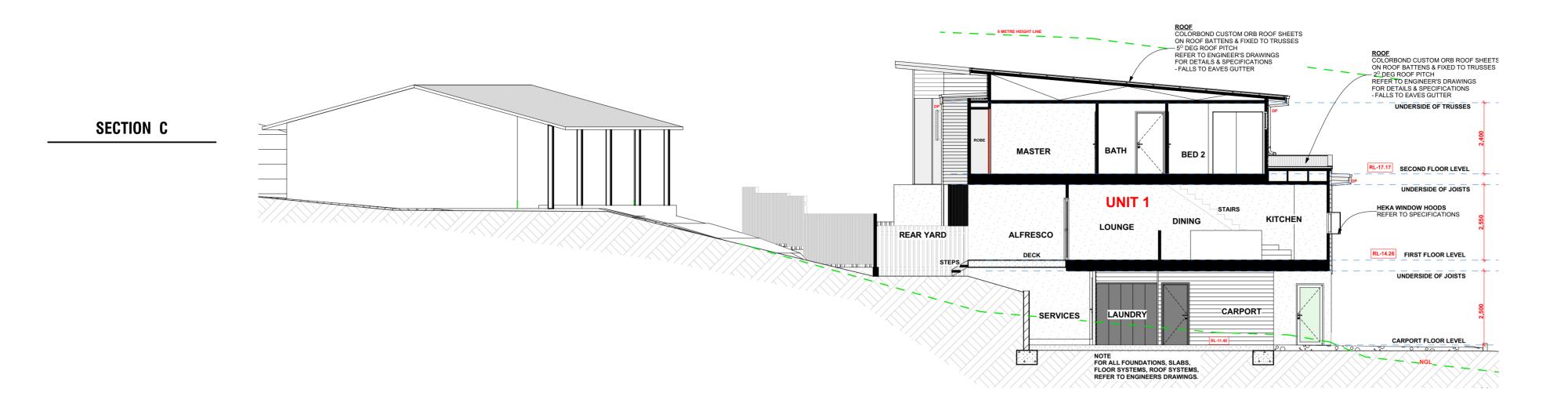
drawing name

drawing number

12

drawing print date

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| Α | 14/05/19 | Preliminary Layout | SR |
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| Е | 03/10/19 | DA Drawing Revisions | AP |
| F | 17/10/19 | Drawing Additions | ΔΡ |

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| G | 25/10/19 | Basix notes added | AP | _ | | | | |
| Н | 11/11/19 | DA Drawing Revisions | SR | | | | | |
| Τ | 26/08/20 | Adaptable Floorplans Added + Path | AP | | | | | |
| J | 20/10/20 | MOVING UNITS + REVISIONS | AP | | | | | |
| K | 19/04/21 | Redesign to 6 Units | SR A | AP | | | | |
| L | 07/07/22 | DA Drawing Revisions | SR A | AP | | | | |
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| client | proje | ect number |
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| Adam Mangleson | | 19013 |
| project | scale | issue |
| Townhouse Development | 1:100 on A2 | L |
| 8 Kumbellin Glen, | drawn | checked |
| Ocean Shores, NSW | SR | Sam Ray |

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| drawing name | | |

drawing number

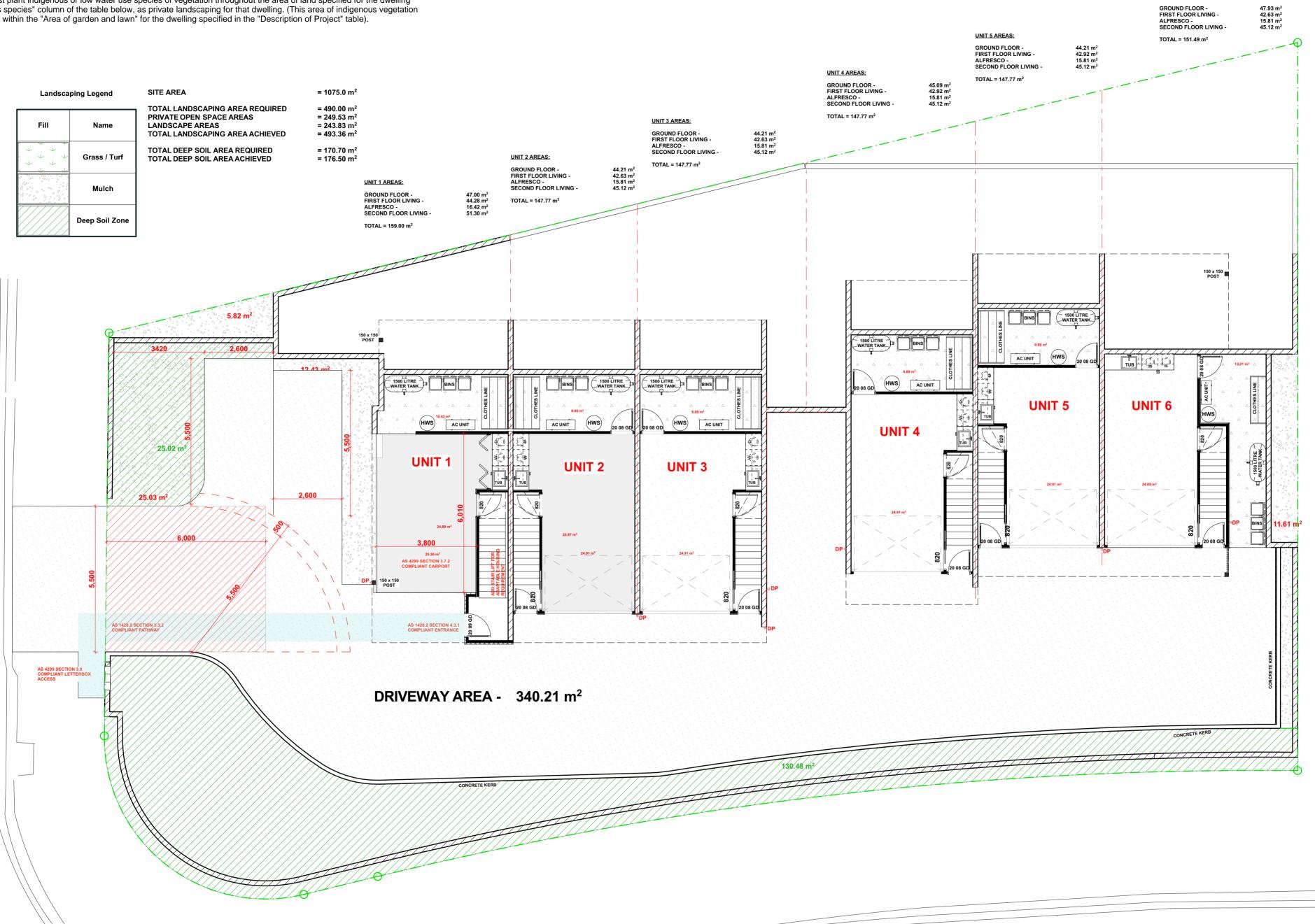
drawing print date

REFER TO BASIX REPORT

The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).

REVISED DA DRAWINGS

UNIT 6 AREAS:



project number client 19013 **Adam Mangleson** project scale issue **Townhouse Development** 1:100 on A2 checked drawn 8 Kumbellin Glen, Ocean Shores, NSW SR Sam Ray

GROUND FLOOR LANDSCAPING

drawing name

drawing number

14

drawing print date

8/07/2022

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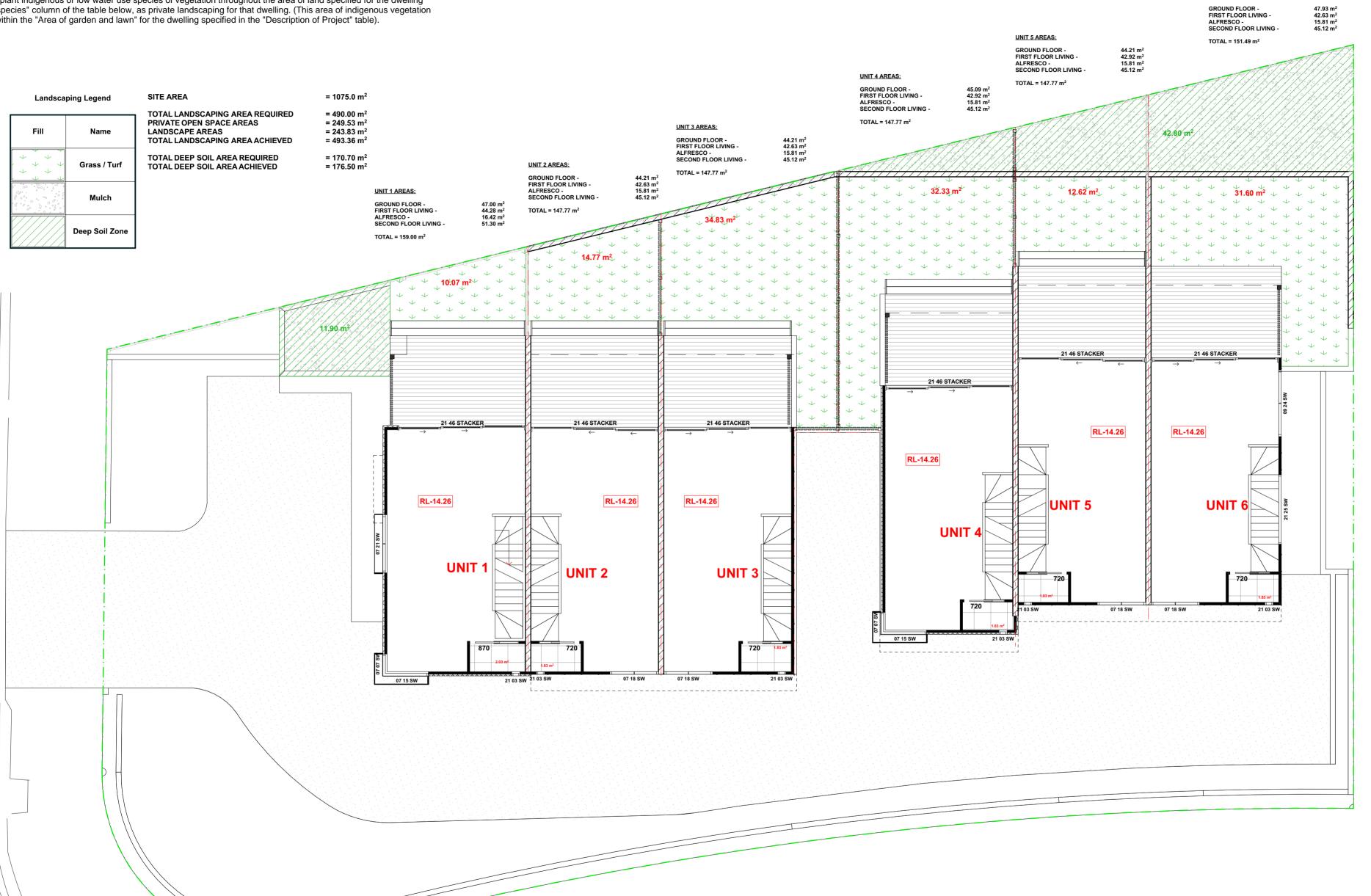
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| D | 16/08/19 | Updated DA Drawings | AP |
| Е | 03/10/19 | DA Drawing Revisions | AP |
| | 47/40/40 | Danish a Addition - | 4.5 |

L 07/07/22 DA Drawing Revisions

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| G | 25/10/19 | Basix notes added | AP | | | \top |
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UNIT 6 AREAS:

The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).





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| | С | 06/08/19 | DA Drawing Revisions | AP | | |
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| | Е | 03/10/19 | DA Drawing Revisions | AP | | |
| | F | 17/10/19 | Drawing Additions | AP | | |

| | rev. date G 25/10/19 H 11/11/19 | | date description | |
|--|---------------------------------|----------|-----------------------------------|-------|
| | | | Basix notes added | AP |
| | | | DA Drawing Revisions | SR |
| | Ι | 26/08/20 | Adaptable Floorplans Added + Path | AP |
| | J | 20/10/20 | MOVING UNITS + REVISIONS | AP |
| | K | 19/04/21 | Redesign to 6 Units | SR AP |
| | L | 07/07/22 | DA Drawing Revisions | SR AP |

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| Adam Mangleson | | 19013 |
| project | scale | issue |
| Townhouse Development | 1:100 on A2 | L |
| 8 Kumbellin Glen, | drawn | checked |
| Ocean Shores, NSW | SR | Sam Ray |

| | drawing number | drawing print date |
|--------------|----------------|--------------------|
| | 15 | 8/07/2022 |
| drawing name | | |

FIRST FLOOR LANDSCAPING

EXTERIOR WALL

WEATHERBOARD CLADDING COLOUR - SLATE GREY





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| Α | 14/05/19 | Preliminary Layout | SR |
| В | 03/07/19 | DA drawings | AP |
| С | 06/08/19 | DA Drawing Revisions | AP |
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| E | 03/10/19 | DA Drawing Revisions | AP |
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| rev. | date | description | initi. |
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| J | 20/10/20 | MOVING UNITS + REVISIONS | AP |
| K | 19/04/21 | Redesign to 6 Units | SR AP |
| L | 07/07/22 | DA Drawing Revisions | SR AP |

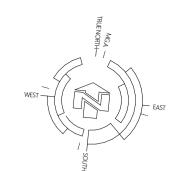
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| Adam Mangleson | | 19013 |
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| Townhouse Development | 1:100 on A2 | L |
| 8 Kumbellin Glen, | drawn | checked |
| Ocean Shores, NSW | SR | Sam Ray |

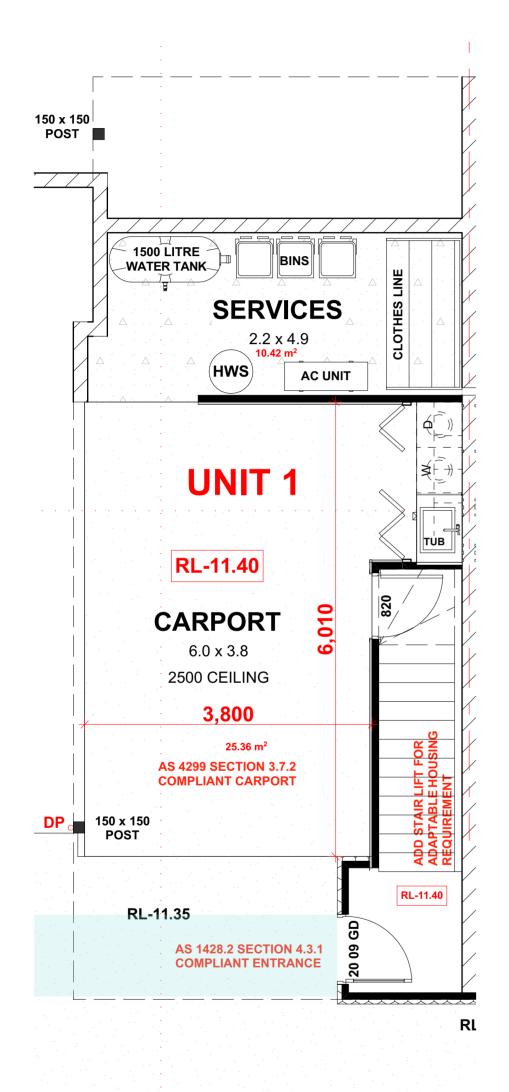
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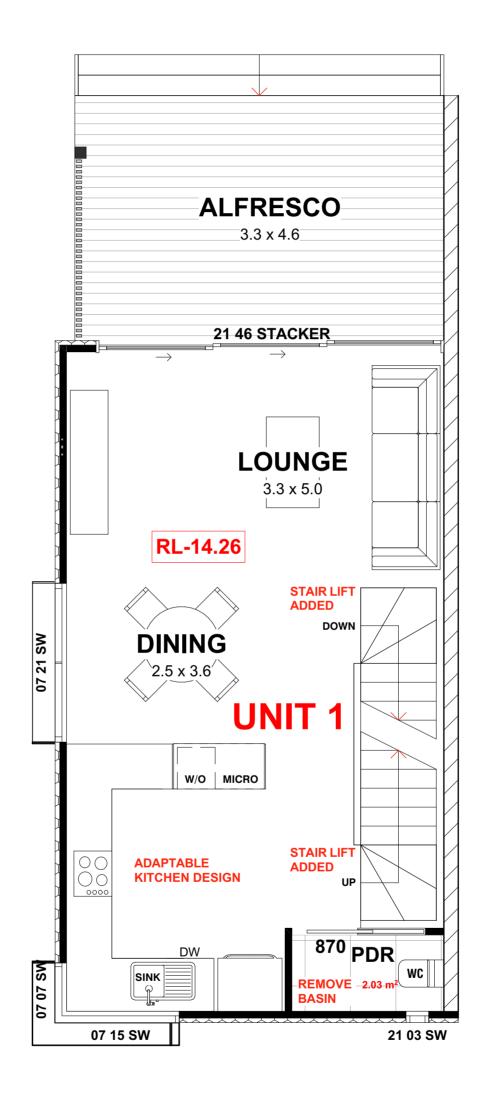
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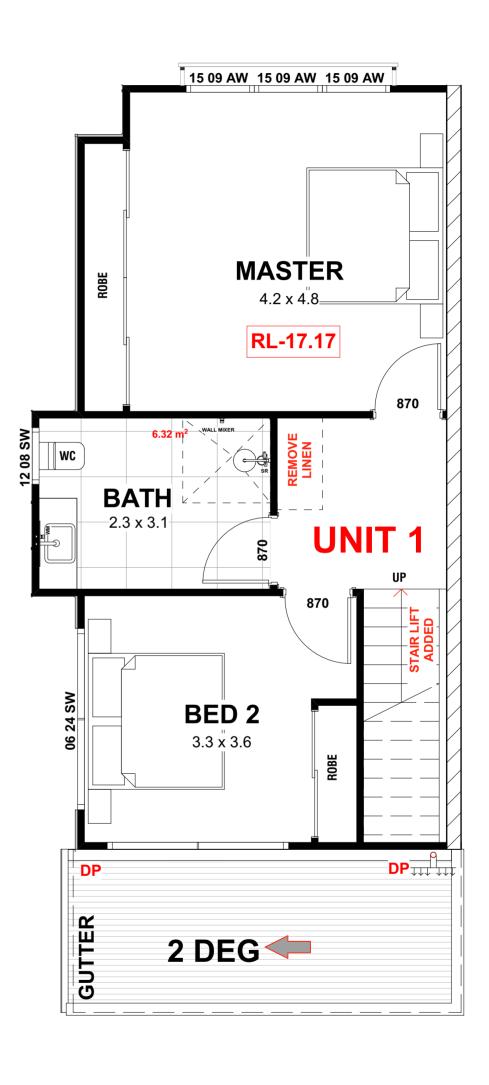
drawing print date



NOTE: UNIT 1 HAS BEEN DESIGNED FOR ADAPTABLE HOUSING AS PER AUSTRALIAN STANDARDS AS 4299 - 1995







FIRST FLOOR

SECOND FLOOR

| | STORY DESIG | N COLLECTIVE |
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GROUND FLOOR

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| В | 03/07/19 | DA drawings | AP |
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| D | 16/08/19 | Updated DA Drawings | AP |
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| rev. | date | description | initi. |
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| Τ | 26/08/20 | Adaptable Floorplans Added + Path | AP |
| J | 20/10/20 | MOVING UNITS + REVISIONS | AP |
| K | 19/04/21 | Redesign to 6 Units | SR A |
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| Adam Mangleson | | 19013 |
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| Ocean Shores, NSW | SR | Sam Ray |

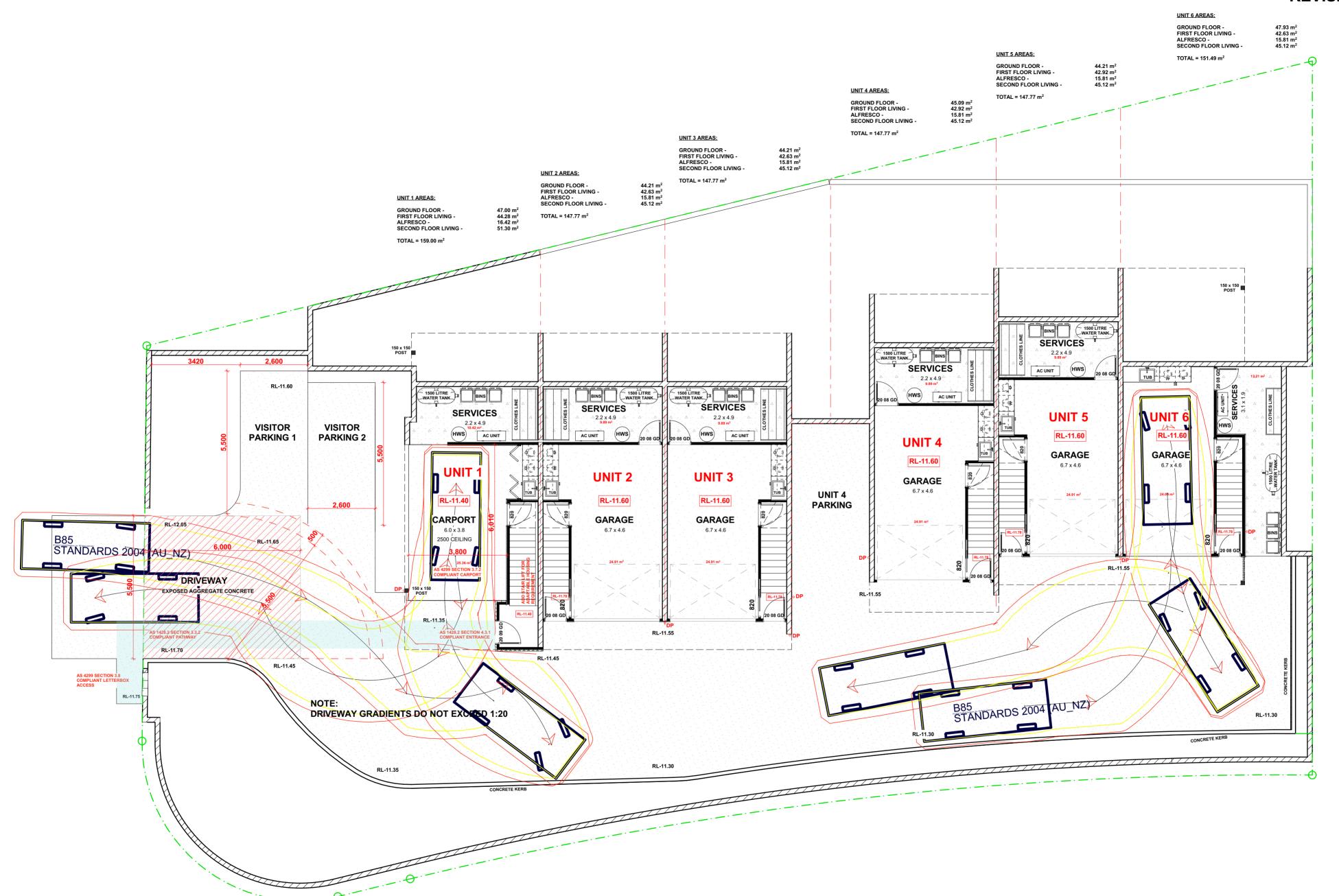
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drawing name

ADAPTABLE FLOOR PLANS

drawing number

drawing print date





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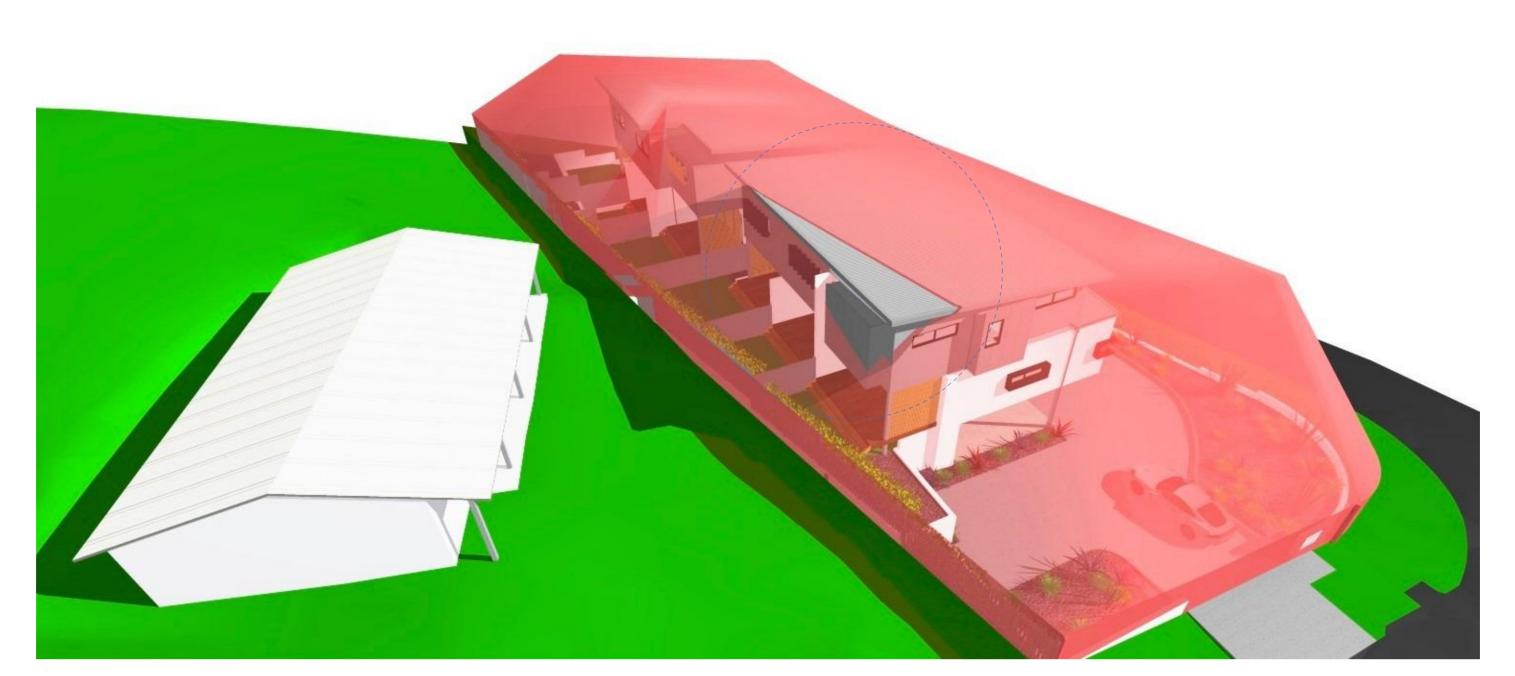
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| K | 19/04/21 | Redesign to 6 Units | SR AP |
| L | 07/07/22 | DA Drawing Revisions | SR AP |

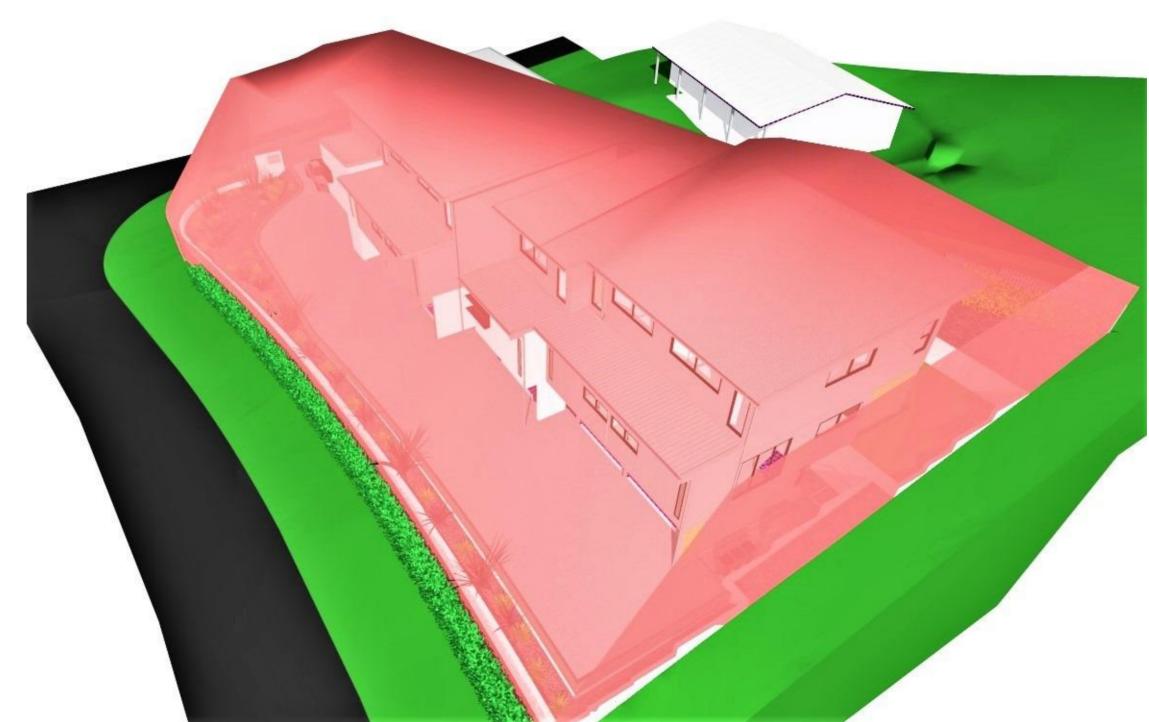
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| SR | Sam Ray |
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| | 18 | 8/07/2022 |
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IMAGES SHOWING PROPOSED BUILDING CUTTING THROUGH THE BUILDING HEIGHT PLANE





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HEIGHT PLANE IMAGES